

**Democratic Services Section
Legal and Civic Services Department
Belfast City Council
City Hall
Belfast
BT1 5GS**



**Belfast
City Council**

6th November, 2025

PLANNING COMMITTEE

Dear Alderman/Councillor,

The above-named Committee will meet in hybrid format, both in the Lavery Room, City Hall and remotely, via Microsoft Teams, on Tuesday, 11th November, 2025 at 5.45 pm, for the transaction of the business noted below.

You are requested to attend.

Yours faithfully,

John Walsh

Chief Executive

AGENDA:

1. Routine Matters

- (a) Apologies
- (b) Minutes
- (c) Declarations of Interest
- (d) Schedule of Meetings 2026 (Pages 1 - 4)
- (e) Correspondence: Department for Infrastructure (Pages 5 - 8)

2. Committee Site Visits

- (a) Pre-emptive Site Visit: LA04/2025/0574/F - Erection of eight storey building comprising seven floors of grade A office accommodation, ground floor retail / business units together with car parking (15 no. spaces), cycle parking and plant areas: and public realm improvements including dedicated drop-off area to front of building - Surface level car park at lands to east of Lanyon Place Station, Mays Meadow

3. Planning Appeals Notified (Pages 9 - 10)

4. **Planning Decisions Issued** (Pages 11 - 46)
5. **Live Applications for Major Development** (Pages 47 - 50)
6. **Committee Decisions that have yet to issue** (Pages 51 - 60)
7. **Miscellaneous Items**
 - (a) Consultation on Planning Fees (Pages 61 - 88)
 - (b) Local Applications subject to Objections from NI Water (Pages 89 - 94)
8. **Planning Applications previously considered**
 - (a) **LA04/2024/0626/F** - Erection of 104no. social rented residential units (comprising a mix of General Social Housing and Category 1 over 55's accommodation) across two detached blocks [ranging between 3 and 5 storeys], landscaping, communal and private amenity space, ancillary cycle and car parking provision, and other associated site works - 1 Havelock House Havelock Place (Pages 95 - 158)
 - (b) **LA04/2024/1576/F** - Demolition of existing buildings at no. 733 & no. 735 Antrim Road to facilitate proposed residential social housing development comprising of 2no. buildings containing 34no. units with associated in-curtilage parking and landscaping (Amended description) - 733-735 Antrim Road (Pages 159 - 188)
9. **Planning Applications**
 - (a) **LA04/2025/0556/F & LA04/2025/0557/DCA** - Proposed change of use from restaurant, public house, 2 no retail units and office use to public house, restaurant, hotel and 1.no retail unit with an additional 2no.storeys associated with the hotel use, and all external façade alterations. Demolition to include; ground floor facades remodelling, removal of window detailing to upper floors, removal and replacement of windows and doors, creation of new door and window openings, removal of roof to rear return and internal wall and roof demolition to accommodate reconfiguration of buildings and associated development for proposed change of use - Lands at no's 10-22 Ann Street Belfast (including 8-10 Crown Entry and 12 Crown Entry) (Pages 189 - 212)

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Subject:	Schedule of Meetings 2026
Date:	11th November, 2025
Reporting Officer:	Carolyn Donnelly, Committee Services Officer
Contact Officer:	Carolyn Donnelly, Committee Services Officer

Restricted Reports	
Is this report restricted?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
<p>Please indicate the description, as listed in Schedule 6, of the exempt information by virtue of which the council has deemed this report restricted.</p> <p>Insert number <input style="width: 30px; height: 20px;" type="text"/></p> <ol style="list-style-type: none"> 1. Information relating to any individual 2. Information likely to reveal the identity of an individual 3. Information relating to the financial or business affairs of any particular person (including the council holding that information) 4. Information in connection with any labour relations matter 5. Information in relation to which a claim to legal professional privilege could be maintained 6. Information showing that the council proposes to (a) to give a notice imposing restrictions on a person; or (b) to make an order or direction 7. Information on any action in relation to the prevention, investigation or prosecution of crime 	
<p>If Yes, when will the report become unrestricted?</p> <div style="display: flex; justify-content: space-between; align-items: flex-start;"> <div style="width: 70%;"> <p>After Committee Decision</p> <p>After Council Decision</p> <p>Sometime in the future</p> <p>Never</p> </div> <div style="width: 25%; text-align: center;"> <input style="width: 30px; height: 20px;" type="checkbox"/> <input style="width: 30px; height: 20px;" type="checkbox"/> <input style="width: 30px; height: 20px;" type="checkbox"/> <input style="width: 30px; height: 20px;" type="checkbox"/> </div> </div>	
Restricted Reports	
Is this report restricted?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
<p>If Yes, when will the report become unrestricted?</p> <div style="display: flex; justify-content: space-between; align-items: flex-start;"> <div style="width: 70%;"> <p>After Committee Decision</p> <p>After Council Decision</p> <p>Sometime in the future</p> <p>Never</p> </div> <div style="width: 25%; text-align: center;"> <input style="width: 30px; height: 20px;" type="checkbox"/> <input style="width: 30px; height: 20px;" type="checkbox"/> <input style="width: 30px; height: 20px;" type="checkbox"/> <input style="width: 30px; height: 20px;" type="checkbox"/> </div> </div>	

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Call-in	
Is the decision eligible for Call-in?	Yes <input checked="checked" type="checkbox"/> No <input type="checkbox"/>

1.0	Purpose of Report or Summary of main Issues
	To advise the Committee of the dates and times of the meetings of the Planning Committee between January and December, 2026.
2.0	Recommendations
	The Committee is requested to approve the schedule of meetings as outlined.
3.0	Main report
	<u>Key Issues</u>
3.1	The monthly meeting of the Planning Committee is normally held at 5.00 p.m. on the 3rd Tuesday of each month.
3.2	However, due to holiday periods and the timing of the monthly Council meetings and, in order to assist with the decision-making process, it has been necessary on occasions to move some of the meetings.
3.3	<p>Accordingly, the following dates have been identified for meetings of the Planning Committee for the period from January to December, 2026:</p> <ul style="list-style-type: none"> • Tuesday, 20th January; • Thursday, 22nd January (for Workshop); • Tuesday, 17th February; • Tuesday, 10th March • Tuesday, 21st April; • Tuesday 19th May • Thursday 21st May (for Workshop) • Tuesday, 16th June; • No meetings in July (recess) • Tuesday, 18th August; • Tuesday, 15th September; • Thursday, 17th September (for Workshop); • Tuesday, 13th October; • Tuesday, 17th November; • Thursday, 19th November (if required); and • Tuesday, 15th December. <p>All meetings to commence at 5.00 p.m.</p>

3.4	<u>Financial & Resource Implications</u> None associated with this report.
3.5	<u>Equality or Good Relations Implications/Rural Needs Assessment</u> None associated with this report.
4.0	Appendices – Documents Attached None associated with this report.

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Subject:	Correspondence – Notifications from Statutory Bodies – Hill Street
Date:	11th November, 2025
Reporting Officer:	Carolyn Donnelly, Committee Services Officer
Contact Officer:	Carolyn Donnelly, Committee Services Officer

Restricted Reports	
Is this report restricted?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
If Yes, when will the report become unrestricted?	
After Committee Decision	<input type="checkbox"/>
After Council Decision	<input type="checkbox"/>
Sometime in the future	<input type="checkbox"/>
Never	<input type="checkbox"/>

Call-in	
Is the decision eligible for Call-in?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>

1.0	Purpose of Report/Summary of Main Issues
1.1	To note the correspondence received regarding the Committee's request for information in relation to the proposed pedestrianisation of Hill Street.
2.0	Recommendation
2.1	The Committee is asked to note the correspondence as set out in the report.

3.0	Main Report
	<u>Key Issues</u>
3.1	At its meeting on 16th September, the Committee agreed to write to the Department of Infrastructure to request information on how the pedestrianisation of Hill Street would be managed, what signage would be in place and why the proposed pedestrianisation was not running from Talbot Street.
3.2	Accordingly, Democratic Services wrote to the Minister for Infrastructure and a response has been received.
3.3	<u>Financial and Resource Implications</u> None associated with this report.
3.4	<u>Equality or Good Relations Implications</u> None associated with this report.
4.0	Appendices - Documents Attached
	Appendix 1 – Response from Minister for Infrastructure.

From the office of the Minister for Infrastructure
LIZ KIMMINS MLA

Carolyn Donnelly
Legal and Civic Services Department
Room 123B
City Hall
Belfast
BT1 5GS

donnellycarolyn@belfastcity.gov.uk

Private Office
3rd Floor, James House
Gasworks Site
2 - 4 Cromac Street
Belfast
BT7 2JA
Telephone: (028) 9054 0540
Email: Private.office@infrastructure-ni.gov.uk

Your reference:
Our reference: COR-0834-2025
21 October 2025

Carolyn, a chara,

MANAGEMENT OF THE PEDESTRIANISATION OF HILL STREET, BELFAST

Thank you for your letter of 25 September 2025 in which you request information on the pedestrianisation of Hill Street.

I can advise that the management of the scheme once implemented, will be a collective partnership between my Department and the PSNI to ensure compliance with the pedestrianisation.

There will be a variety of signs associated with the project. The signage and layout plans are available for viewing on the Department's consultation website.

[Experimental Traffic Control Scheme \(Hill Street and Gordon Street\) Belfast 2025 | Department for Infrastructure](#)

The section of Hill Street which runs from Talbot Street to Gordon Street is not part of the proposed pedestrianisation zone due to access requirements being needed for the car parks within this length of Hill Street and in Gordon Street.

The scheme will be kept under review and officials would welcome any feedback the Council has on its operation once implemented.

Is mise le meas,



LIZ KIMMINS MLA
Minister for Infrastructure

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PLANNING COMMITTEE – 11 NOVEMBER 2025

APPEALS NOTIFIED

COUNCIL: BELFAST

ITEM NO	1	PAC REF	2025/A0081
PLANNING REF:	LA04/2024/1466/F		
APPLICANT:	Hanrose Ltd		
LOCATION:	41 Rosetta Road, Belfast, BT6 0LR		
PROPOSAL:	Ground floor extension and alterations to provide 1 No retail unit. Two storey rear extension. Rear dormer. Change of use of first and second floor level and part of ground floor level to 6 bed/6 person HMO		
PROCEDURE:			

APPEAL DECISIONS NOTIFIED

ITEM NO	1	PAC REF:	2025/A0026
PLANNING REF:	LA04/2024/0086/F		
RESULT OF APPEAL:	ALLOWED		
APPLICANT:	Mr Venugopal Bhaskaran		
LOCATION:	Apartment 3, 1 Utility Street, Belfast, BT12 5JS		
PROPOSAL:	Retrospective application for the conversion of a flat to short term let accommodation		

ITEM NO	2	PAC REF:	2025/E0032
PLANNING REF:	LA04/2025/0324/CA		
RESULT OF APPEAL:	WITHDRAWN		
APPLICANT:	Mr Paul Kennedy		
LOCATION:	Land to the rear of The National, 62 High Street, Belfast, BT1 2BE		
PROPOSAL:	Alleged unauthorised change of use of the land to provide an extension to a beer garden incorporating the following elements: Enclosed walkway entrance; Tent Structure; All associated fixtures and fittings associated with the beer garden; Hot food take-away cabin with a serving hatch to Skipper Street; Steel boundary with wooden covering (incorporating access gates and windows) adjacent to Skipper Street; Shipping Container for storage, Shipping Container acting as a bar; boundary fencing in excess of 2m in height; Beer Keg storage area; bin storage area		

APPEAL DECISIONS (CONTINUED)

ITEM NO	3	PAC REF:	2025/A0038
PLANNING REF:	LA04/2023/4460/F		
RESULT OF APPEAL:	ALLOWED		
APPLICANT:	Mr Andrew McFarland		
LOCATION:	51 Silverstream Gardens, Belfast, BT14 8GS		
PROPOSAL:	Retrospective: Change of use from residential dwelling (Class C1) to short-term let (Sui Generis)		

Planning decisions issued October 2025 - No.254

<u>Application number</u>	<u>Category</u>	<u>Location</u>	<u>Proposal</u>	<u>Decision</u>
LA04/2021/1165/PAD	MAJ	Land bound by Dunbar Link Talbot Street Hill Street and Gordon Street. BT1 2LH	Place-making led mixed use regeneration scheme	PAD Concluded
LA04/2022/1355/F	LOC	224 Tates Avenue Belfast BT12 6NB	Change of use from retail unit to hot food and takeaway facility with associated flue extraction. External works to include a first floor extension and single storey side extension.	Permission Granted
LA04/2022/2319/F	LOC	118-122 CASTLEREAGH ROAD BALLYMACARRET BELFAST DOWN BT5 5FS	Demolition of existing property and redevelopment of site with 3 storey apt block comprising 6 No. apartments. (amended description and plans)	Application Withdrawn
LA04/2023/2893/O	LOC	11 Glenmachan Drive, Belfast, BT4 2RE	Erection of a dwelling to the rear garden of 11 Glenmachan Drive, including an amended existing access from the Glenmachan Road (additional information).	Permission Refused
LA04/2023/4115/F	LOC	8 Castlegowan Drive, Belfast, BT5 7WJ	Retrospective Change of garden levels to rear and Erection of external store, glass green house, timber gazebo and new rear fence	Permission Granted
LA04/2023/4242/F	LOC	Apartment 32, Citygate Apartments, 2 Sussex Place, Belfast, BT2 8LN	Retrospective change of use from apartment to short term let accommodation	Permission Granted
LA04/2023/4299/DC	LOC	158 Hollywood Road, Belfast, BT4 1PB	Discharge of Condition 6 of previously approved LA04/2021/0493/F	Application Deemed Refusal (ES)

LA04/2023/4367/A	LOC	8-10 Cliftonville Road, Belfast, BT14 6JX	2 hoarding signs (Retrospective)	Consent Granted
LA04/2024/0063/F	LOC	Apartment 1, No. 1 Utility Street, Belfast, BT12 5JS	Retrospective permission for the conversion of a flat to short term let accommodation	Permission Granted
LA04/2024/0231/F	LOC	Apartment 1, 1 Roseland Place, Belfast, BT12 5AJ	Retrospective change of use from residential apartment to short term let.	Permission Granted
LA04/2024/0366/F	LOC	35 Upper Lisburn Road, Belfast, BT10 0GX	Proposed car wash with existing entrance/exit. Erection of new front fence & installation of steel container for storage use. Installation of wc for staff/customer use	Application Withdrawn
LA04/2024/0448/F	LOC	5 Millennium Way, Springvale Business Park, Belfast, BT12 7AL	2-storey extension to front of existing office building at 5 Millennium Way, alterations to car parking layout and associated works	Permission Granted
LA04/2024/0496/F	LOC	12 Lagmore Drive, Belfast, BT17 0TG	Construction of youth centre	Permission Granted
LA04/2024/0908/F	LOC	419 Woodstock Road, Belfast, BT6 8PW	Change of use from 5-bedroom residential dwelling (C1) to a 5-bedroom/5-person HMO (Sui Generis).	Permission Granted
LA04/2024/0800/LBC	LOC	Rear 2nd Floor, 37-41 High Street, Belfast, BT1 2AB	Refurbishment of a grade B1 listed building, office space at the rear of the second floor level to provide modernised office, accessed via the existing entrance on High Street	Consent Granted
LA04/2024/0907/PAD	LOC	Lands at the junction of Cliftonpark Avenue and Girdwood Avenue, Belfast	Proposed erection of 11 no. three-bedroom townhouses with associated amenity space and site works	PAD Concluded

LA04/2024/1071/F	LOC	8 Rugby Court, Belfast, BT7 1PN	Proposed change of use from residential apartment (use class C1) to self-catering short-term let accommodation (Sui Generis) (Retrospective)	Permission Refused
LA04/2024/1089/F	LOC	293 North Queen Street, Skegoneill, Belfast, BT15 1HS	Retrospective Change of Use from Dwellinghouse class C1 to Short-term let accommodation (Sui Generis)	Permission Granted
LA04/2024/1113/F	LOC	75m NW of 29 Middle Braniel Road, Belfast	Change of use of barn and outbuildings to Class C1 dwellinghouse with extension, septic tank and soakaway, vehicular access and associated works (amended plans) (amended description)	Permission Refused
LA04/2024/1140/F	LOC	45 Glenlea Park, Belfast, BT4 2QG	Erection of 2-storey dwelling adjoining No.45 Glenlea Park. Alterations to existing dwelling (No.45) to include new front porch entrance and fenestration changes. Additional site works.	Permission Refused
LA04/2024/1178/RM	LOC	998 Crumlin Road, Belfast, BT14 8FH	Erection of a detached dwelling & associated garage	Permission Granted

LA04/2024/1250/F	LOC	Kirkpatrick Memorial Presbyterian, 259 Church Upper Newtownards Road, Belfast, BT4 3JF	Proposed retention of the front facade (twin towers, front vestibule with recessed gable peak and retention of side facade, facing Eastleigh Crescent (excluding the later addition to the rear of the church). Proposed removal of the boundary wall, gates and demolition of the remainder of the church building, adjacent halls and meeting rooms and the construction of replacement halls, meeting rooms and welcome area.	Permission Granted
LA04/2024/1337/F	LOC	Adjacent to 24 Brookvale Street, Belfast, BT14 6BZ	Construction of 2.5 storey dwelling house (semi-detached to no.22 Brookvale Street) with associated site works. (Amended Plans Received)	Permission Granted
LA04/2024/1335/F	LOC	20 St Ives Gardens, Belfast, BT9 5DN	Subdivision of existing town house to two no. apartments with partial demolition to facilitate two storey rear extension in place of existing rear return and zinc dormer	Permission Refused
LA04/2024/1466/F	LOC	41 Rosetta Road, Belfast, BT6 0LR	Ground floor extension and alterations to provide 1 No. retail unit. Two storey rear extension. Rear dormer. Change of use of first & second floor level & part of ground floor level to 6 bed / 6 person HMO (amended description and plans).	Permission Refused
LA04/2024/1697/F	LOC	Translink York Road Depot, 1 York Road, BT15 3RP	Development of 2 storey and single storey building for Translink office space, workshop and store with associated site works and solar panels on roof	Permission Granted

LA04/2024/1592/F	MAJ	Marlborough House at no. 28-32 Victoria Street, Belfast and no. 8 and 10-12 Marlborough Street; 11 Prince's Street and 2-4 Prince's Court, Belfast, BT1 3GG	Residential development comprising the demolition of no. 8 Marlborough Street, partial demolition of existing Marlborough House, and the refurbishment of existing Listed Building (Princes Court) (3 storeys), for the erection of 103 no. apartments (mix of 1-bed, 2-bed and 3 bed units) (8 storeys), with provision of private amenity, and internal and external communal amenity spaces; and associated site and infrastructure works. (amended description)	Permission Granted
LA04/2024/1595/LBC	LOC	Marlborough House at no. 28-32 Victoria Street, Belfast and no. 8 and 10-12 Marlborough Street; 11 Prince's Street and 2-4 Prince's Court, Belfast, BT1 3GG	Proposed residential development comprising the demolition of no. 8 Marlborough Street, partial demolition of existing Marlborough House, and the refurbishment of existing Listed Building (Princes Court), for the erection of 103 no. apartments (mix of 1-bed, 2-bed and 3 bed units), with provision of private amenity, and internal and external communal amenity spaces; and associated site and infrastructure works.	Consent Granted
LA04/2024/1631/F	LOC	10 Castlereagh Place Belfast BT5 4NN	Change of use from Dwelling to short term let.	Permission Granted
LA04/2024/1709/F	LOC	Lands adjacent to 172 & 172a Tates Avenue, Belfast, BT12 6ND	Proposed erection of storage shed	Permission Granted

LA04/2024/1761/RM	MAJ	Land forming Plot 9 of the Kings Hall development as approved by LA04/2020/0845/O.	Application for approval of reserved matters application for a medical facility in accordance with outline planning permission LA04/2020/0845/O, seeking approval of layout, scale, appearance and landscaping details	Permission Granted
LA04/2024/1745/MDPA	LOC	Lands adjacent to and South East of the River Lagan, West of Olympic Way of Queen's road, Queen's Island, Belfast, BT2 9EQ	DISCHARGE CLAUSE 2.3 OF SECTION 76 AGREEMENT ASSOCIATED WITH PLANNING PERMISSION LA04/2021/2280/F - A copy of the written approval by NIHE of the Approved Specification and evidence of the transfer of title to the lands upon which Block 9 is to be constructed to a Registered Housing Association shall be provided by the Owner to the Council within 30 days of it having been received or confirmed.	Condition Discharged
LA04/2024/1820/F	LOC	Apartment 1 82 Kinross Avenue, Belfast, BT5 7GH	Change of use from residential apartment (Class C1) to short term let accommodation (sui generis) (retrospective)	Permission Refused
LA04/2024/1922/PAD	LOC	32-36 Clifton Street / 2-2A TRINITY STREET Clifton Street, Belfast, BT13 1AA	Proposed redevelopment of existing buildings (including facade retention and internal alterations with new extensions) to provide 5no. apartments and 1no. community office.	PAD Concluded

LA04/2024/2044/F	MAJ	Lands at 39 Corporation Street, Belfast, BT1 3BA	Erection of 895 room Purpose Built Managed Student Accommodation (PBMSA) across 9-20 storey building blocks with communal facilities, internal and external communal amenity space including landscaped courtyard and roof terraces and ancillary accommodation. With additional use outside term time (no more than 50% of the rooms) as short-term let accommodation and (no more than 50% of the rooms) accommodation for use by further or higher education institutions	Permission Granted
LA04/2024/2020/F	LOC	Land at Kings Hall and RUAS site, southeast of Dataworks building and east of Kings Hall	Extension to Kings Hall Plot 2 building to provide first floor link bridge between Plot 2 and Plot 9	Permission Granted
LA04/2024/2025/F	LOC	34 Eglantine Avenue, Belfast, BT9 6DX and the footpath to front of property.	Relocation of access gates and proposed Dropped Kerb Vehicular Access	Permission Granted
LA04/2024/2027/DCA	LOC	34 Eglantine Avenue, Belfast, BT9 6DX	Relocation of access gates and proposed Dropped Kerb Vehicular Access	Consent Granted
LA04/2024/2142/F	LOC	The Oval, Parkgate Drive, Belfast, BT4 1EW	Replacement of existing natural grass pitch with new synthetic 3G surface and associated drainage	Permission Granted
LA04/2025/0017/F	LOC	Lands adjacent to 16 Newforge Grange, Belfast, BT9 5QB	Amended House Type to Previously Approved under LA04/2020/0022/F for Detached Dwelling and Garage (amended plans & additional trees information)	Permission Granted

LA04/2025/0075/F	LOC	Belfast City Hospital Tower Block, 51 Lisburn Road, Belfast, BT9 7AB	Construction of 2 no. new mechanical ventilation plantrooms and covered plant area, to include maintenance access gantries between roofs and all associated works on the north elevation of the existing podium deck at Belfast City Hospital.	Permission Granted
LA04/2025/0104/F	LOC	37 Larkfield Road, Belfast, BT4 1QE	Single storey rear extension	Permission Granted
LA04/2025/0086/F	LOC	20 Gortgrib Drive, Belfast, BT5 7QX	Single storey side and rear extension (Reduced Scheme)	Permission Granted
LA04/2025/0342/A	LOC	236-238 Ormeau Road, Ormeau, Belfast, BT7 2FZ	Three Illuminated Fascia Signs and One Illuminated Projecting Sign (Amended Description)	Consent Granted
LA04/2025/0337/A	LOC	539 Lisburn Road, Malone Lower, Belfast, BT9 7GQ	2 illuminated fascia signs and 1 illuminated projecting sign	Consent Granted
LA04/2025/0109/F	LOC	Site adjacent to 2a Abbey Park, Belfast, BT5 7HQ	Residential dwelling and garage with septic tank (amended description) (amended plans)	Permission Granted
LA04/2025/0122/F	LOC	Lands Between 14 and 16 Lancedean Road, Belfast, BT6 9QP	Demolition of 4 no garages and erection of 2 no. semi-detached dwellings, part 2 storey part 3 storey (amended description) (additional plans)	Permission Refused
LA04/2025/0154/F	LOC	Royal Belfast Hospital For Sick Children Grosvenor Road, The Royal Hospitals, Belfast, BT12 6BA	Reinstallation of packaged plantroom previously approved on a temporary basis under Planning Reference LA04/2018/1044/F.	Permission Granted
LA04/2025/0311/A	LOC	Telegraph Building, 124-144 Royal Avenue, Belfast BT1 1DN	Street Art directly on facade of Donegall Street Elevation.	Consent Granted
LA04/2025/0247/F	LOC	3 Fitzwilliam Avenue, Belfast, BT7 2HJ	Single storey side and rear extension	Permission Granted

LA04/2025/0264/F	LOC	35 Cranmore Gardens, Belfast, BT9 6JL	Retrospective application for alterations to extension approved under application LA04/2023/2573/F	Permission Granted
LA04/2025/0308/F	LOC	63 Wynchurch Road Belfast BT6 OJJ	Addition of a single storey side and rear extension along with dormer window in loft.	Permission Granted
LA04/2025/0283/F	LOC	36 Glen Road Belfast, Andersonstown, Belfast, BT11 8BE	Single storey rear extension.	Permission Granted
LA04/2025/0322/F	LOC	22-24 Berry Street, Belfast, BT1 1FJ	Proposed change of use from office space at first and second floor with a single storey roof extension to provide 2no. short term lets	Permission Granted
LA04/2025/0346/CLOPUD	LOC	49 Derryvolgie Avenue, Malone Lower, Belfast BT09 6FP	Development of planning application Z/2000/0441/F commenced more than 5 years ago	Permitted Development
LA04/2025/0363/F	LOC	56 Ardenvohr Street, Belfast, BT6 8NB	Demolition of existing ground floor rear extension and part demolition of rear first floor external wall. Provision of first floor extension to rear.	Permission Granted
LA04/2025/0433/F	LOC	9 Rosetta Road East Belfast, Belfast, BT6 0LP	Side and rear single storey extension. Amendment to planning permission ref. LA04/2024/1248/F	Permission Granted
LA04/2025/0488/F	LOC	Approximately 1.5m north of the boundary with 1 Whincroft Road, Shandon Park Golf Club, Belfast, BT5 6NY	Erection of a ballcatcher net along the boundary of the golf course	Permission Granted
LA04/2025/0541/F	LOC	6 Adelaide Park, Belfast, BT9 6FX	Demolition of existing single storey rear return and five existing chimney stacks. To rebuild four chimney stacks using the existing brick. With the addition of a single storey rear extension.	Permission Granted

LA04/2025/0540/DCA	LOC	6 Adelaide Park, Belfast, BT9 6FX	Demolition of existing single storey rear return and five existing chimney stacks. To rebuild four chimney stacks using the existing brick.	Consent Granted
LA04/2025/0489/DC	LOC	The King's Hall and RUAS site, south of Upper Lisburn Road/Balmoral Avenue, west of Harberton Park and north-east of Balmoral Golf Club, Belfast, BT9 6GW	Discharge of Condition 8 and 9 LA04/2022/0311/F: Window Schedules and Alternative Ventilation Specification	Condition Discharged
LA04/2025/0478/F	LOC	8 Ormiston Square, Belfast, BT4 2RU.	Single storey rear extension.	Permission Granted
LA04/2025/0498/PRELIM	LOC	Crumlin Road Courthouse, Belfast	Proposals for demolition and new build to the rear of the Courthouse	PAD Concluded
LA04/2025/0503/F	LOC	15 Chichester Road, Belfast, BT15 5EJ	Single storey side extension and fenestration changes	Permission Granted
LA04/2025/0583/DC	LOC	Former NI Water Ltd Sewage Treatment Works Blackstaff Road, Belfast, Belfast, BT11 9DT	Discharge of Condition 9 LA04/2022/1479/F - Verification Report	Condition Discharged
LA04/2025/0739/F	LOC	23 Wynard Park, Belfast, BT5 6NS	Demolition of conservatory and rear return. Single storey rear extension. Two storey side/rear extension	Permission Granted
LA04/2025/0671/F	LOC	24 Bapaume Avenue, Belfast, BT6 9JE	Demolition of existing conservatory replaced by single storey rear extension	Permission Granted
LA04/2025/0674/MDPA	LOC	Lands adjacent to and south east of the River Lagan, west of Olympic Way of Queen's Road, Queen's Island, Belfast, BT2 9EQ	Clause 8.2 of the Section 76 Agreement associated with planning permission LA04/2021/2280/F- Public Transport Fund	Condition Discharged

LA04/2025/0676/MDPA	LOC	Lands Adjacent to and South East of the River Lagan, West of Olympic Way of Queen's Road, Queen's Island, Belfast, BT2 9EQ	Clause 9.1 of the Section 76 Agreement associated with planning permission LA04/2021/2280/F requires a Car Club Strategy to be submitted to the Council prior to the occupation of the development. Clause 14.5 requires notification to the Council of the identity of the car club operator.	Condition Discharged
LA04/2025/0670/F	LOC	52 William Alexander Park, Belfast, BT10 0LX	Single storey front, side and rear extension with widened driveway access	Permission Granted
LA04/2025/0697/F	LOC	47 Ballysillan Road, Belfast, BT14 7QP	Extension and alterations to elevations of existing retail building, provision of roof lights and PV panels, amendments to parking layout and landscaping, provision of switch room, and associated site works.	Permission Granted
LA04/2025/0711/DC	LOC	30, 32 & 34 Corrib Avenue, Belfast, BT11 9JB (OFF THE SHAWS ROAD)	Discharge of Condition no. 3 LA04/2020/1126/F- Ventilation	Condition Not Discharged
LA04/2025/0712/MDPA	LOC	Lands adjacent to and south east of the River Lagan, west of Olympic Way of Queen's Road, Queen's Island, Belfast, BT2 9EQ	Clause 7.1 of the Section 76 Agreement associated with planning permission LA04/2021/2280/F requires details of the Residential Travel Plan for Block 9, Block 11 and Block 11A to be submitted the Council prior to the occupation of the development.	Condition Discharged
LA04/2025/0684/F	LOC	22 Galwally Park, Belfast, BT8 6AH	Two-storey side and rear extension (amendment to approved application LA04/2022/1995/F)	Permission Granted

LA04/2025/0728/DC	LOC	Remaining vacant 3no. listed pavilions at former Belvoir Park Hospital site. Land 80 - 150m to the east and 170m south east of West House, Belvoir Park.	Discharge of Condition 6 LA04/2024/1043/F - Bat inspection in relation to Pavillion No.6	Condition Discharged
LA04/2025/0738/F	LOC	57-59 & 61-63 Dublin Road, Belfast, BT2 7HE	Revision to previous approval (LA04/2024/1496/NMC) to include provision of a transformer/ plant room/ substation at ground floor.	Permission Granted
LA04/2025/0700/F	LOC	9 Norwood Crescent, Belfast, BT4 2DZ	Two storey and single storey side & rear extension	Permission Granted

LA04/2025/0707/F	LOC	16 Bladon Park, Belfast, BT9 5LG	Demolition works including existing garage, front portico and lean to existing extension, four existing chimneys to be demolished and rebuilt, lower garden steps to be replaced and internal demolition works. Internal alterations and maintenance works to include the reintegration of the previously sub-divided listed building, from 2 dwelling units, to a single dwelling unit. Replacement of fenestration on roof and side of dwelling, replacement of existing timber boundary wall with a red brick wall. Addition of a single storey building to replace garage and single storey side extension to dwelling. Widening of existing driveway. External alterations and maintenance works (Amended Description).	Permission Granted
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LA04/2025/0708/LBC	LOC	16 Bladon Park, Belfast, BT9 5LG	Demolition works including existing garage, front portico and lean to existing extension, four existing chimneys to be demolished and rebuilt, lower garden steps to be replaced and internal demolition works. Internal alterations and maintenance works to include the reintegration of the previously sub-divided listed building, from 2 dwelling units, to a single dwelling unit. Replacement of fenestration on roof and side of dwelling, replacement of existing timber boundary wall with a red brick wall. Addition of a single storey building to replace garage and single storey side extension to dwelling. Widening of existing driveway. External alterations and maintenance works (Amended Description).	Consent Granted
LA04/2025/0727/F	LOC	14 Ballygomartin Park, Belfast, BT13 3NP	2-storey side extension. Fenestration changes to rear	Permission Granted
LA04/2025/0731/F	LOC	109 Wynchurch Road, Belfast, BT6 0JJ	Erection of a detached single-storey garage.	Permission Granted
LA04/2025/0745/F	LOC	Footpath in front of 2 Sandown Road, Belfast, County Antrim, BT5 6GY	Installation of 17.5m pole supporting 6no. antennas, 1no. 0.3m dish, installation of 3no. cabinets, and ancillary development thereto.	Permission Granted
LA04/2025/0749/PAD	LOC	28 Bedford Street, Belfast, BT2 7FE	Change of use from Office accommodation to Museum use with Cafe facilities	PAD Concluded

LA04/2025/0756/DC	LOC	Unit 3-5, Curzon Building 306-310 Ormeau Road, Ormeau, Belfast, BT7 2GE	Discharge of Condition 3 LA04/2023/3130/F- Foul Drainage.	Condition Not Discharged
LA04/2025/0769/F	LOC	2 Harberton Square, Malone Upper, Belfast, BT9 6WN	Single story side & rear extension	Permission Granted
LA04/2025/0757/A	LOC	Donegall Arcade, 5-7 Castle Place, Belfast, BT1 1GA	New shop sign and fascia signage	Consent Granted
LA04/2025/0779/F	LOC	Police Service Of Northern Ireland Lisnasharragh 42 Montgomery Road, Belfast, BT6 9LD	Construction of single storey accessible entrance lobby to existing building including removal of existing lobby and associated site works.	Permission Granted
LA04/2025/0776/F	LOC	Northern Whig, 2-10 Bridge Street, Belfast, BT1 1LU	Relocation of existing cold store at rear to create new snug bar. Partial demolition to east elevation of existing building to create new entrance and window.	Permission Granted
LA04/2025/0777/LBC	LOC	Northern Whig, 2-10 Bridge Street, Belfast, BT1 1LU	Relocation of existing cold store at rear to create new snug bar. Partial demolition to east elevation of existing building to create new entrance, window and signage.	Consent Granted
LA04/2025/0775/A	LOC	Northern Whig House, 2-10 Bridge Street, Belfast, BT1 1LU	1no. traditional timber fascia sign illuminated by traditional lanterns and 1no. projecting sign	Consent Granted
LA04/2025/0786/F	LOC	40 Balmoral Avenue, Belfast, BT9 6NX	Demolition of front boundary wall and gate to be replaced by 1.8m high timber gate and block/render wall with close boarded timber fencing and associated landscaping (Amended Description)	Permission Granted

LA04/2025/0804/F	LOC	5 Glastonbury Avenue, Belfast, BT15 4DL	Single storey rear extension and patio area. Demolition of existing kitchen and outbuilding. Partial demolition of rear wall. Fenestration changes.	Permission Granted
LA04/2025/0792/F	LOC	Unit 1, 179 Albertbridge Road, Belfast, BT5	Change of use from office (B1) to a Pilates & Osteopathy studio at first floor with internal alterations.	Permission Granted
LA04/2025/0793/LBC	LOC	Unit 1, 179 Albertbridge Road, Belfast, BT5	Change of use from office (B1) to a Pilates & Osteopathy studio at first floor with internal alterations	Consent Granted
LA04/2025/0872/F	LOC	Grant House, 64 Malone Road, Belfast, BT9 5BT	New 1.6m wide x 2.1m high wall with building signage. Cycle store relocated.	Permission Granted
LA04/2025/0819/F	LOC	43 Tweskard Park, Belfast, BT4 2JZ	Single storey side extension.	Permission Granted
LA04/2025/0828/F	LOC	40 Orchardville Crescent, Belfast, BT10 0JT	Single storey rear extension	Permission Granted
LA04/2025/0829/F	LOC	23 Malone View Road, Belfast, BT9 5PH	Two storey front extension with dormer and single storey rear and side extension, new rooflight, fenestration changes and new render to property with stone cladding panels and changes to existing garage.	Permission Granted
LA04/2025/0821/DC	LOC	Former Visteon Factory Blacks Road, Belfast BT10	Discharge of Condition 20 and 23 for Phase 7 and Phase 8 Z/2013/1434/F - Capping Layer Verification Report and Ground Gas/Vapour Verification Report.	Condition Discharged
LA04/2025/0831/DCA	LOC	Stradivarius 28 -32 Donegall Place, Belfast, BT1 5BB	Demolition of existing shopfront facade, external fenestrations to be removed and internal demolition.	Consent Granted

LA04/2025/0834/F	LOC	31 Galwally Park, Belfast, BT8 6AG	Single storey rear and side extension. Partial removal of existing garage.	Permission Granted
LA04/2025/0879/F	LOC	Law's Court, Immediately to the west and southwest of No. 166-174 North Street, Belfast.	Erection of 2.0m high palisade gates at each end of Law's Court, Belfast.	Permission Granted
LA04/2025/0841/DCA	LOC	40 Balmoral Avenue, Belfast, BT9 6NX	Demolition of front boundary dwarf wall with railings on top.	Consent Granted
LA04/2025/0852/F	LOC	2 Ascot Park, Belfast, BT5 6LW	Single storey rear extension, creation of additional side windows, conversion of garage and basement to living accommodation. (Amended scheme).	Permission Granted
LA04/2025/0842/F	LOC	82 New Lodge Road, Belfast, BT15 2BZ	Single storey rear extension.	Permission Granted
LA04/2025/0851/F	LOC	10 Marmont Drive, Belfast, BT4 2GT	Creation of rear decking area. Fenestration changes.	Permission Granted
LA04/2025/0865/A	LOC	Unit 1, Connswater Retail Park, 4 Connswater Link, Belfast, BT5 5DL	Retrospective: 2no. internally illuminated fascia signs and 1no. wall mounted panel sign.	Consent Granted
LA04/2025/0873/DCA	LOC	22-24 Berry Street, Belfast, BT1 1FJ	Demolition of existing flat roof to provide extension and openings for windows & door in side elevation	Consent Granted
LA04/2025/0896/F	LOC	25 Lagmore Drive, Belfast, BT17 0TG	Single storey side extension	Permission Granted
LA04/2025/0910/F	LOC	8 Rosemount Avenue, Belfast, BT5 7HB	Retrospective single storey rear extension and fenestration changes. Construction of new boundary wall.	Permission Granted

LA04/2025/0932/F	LOC	Main Entrance Lobby to Block BC of Ulster University Belfast Campus BT15 1ED	Removal of existing ground floor curtain wall glazing panels and sliding doors on existing facade, to be replaced with 2no sets of automatic swing doors, and 2no automatic revolving doors to main entrance lobby of Block BC.	Permission Granted
LA04/2025/0942/F	LOC	18 Osborne Park, Belfast, BT9 6JN	Demolition of existing side porch. Erection of new side porch based on original Victorian design.	Permission Granted
LA04/2025/0909/F	LOC	12 Ben Eden Avenue, Belfast, BT15 4GX	Single Storey Extension to Rear and Side.	Permission Granted
LA04/2025/0925/F	LOC	Pavillion 6 Building at former Belvoir Park Hospital site. Land 80 - 150m to the east and 170m south east of West House, Belvoir Park Hospital Road Belfast BT8 8JP.	Amendment to extant permissions LA04/2024/1043/F & LA04/2024/1072/LBC to change the approved 1bed units to 2 bed units with elevational changes.	Permission Granted
LA04/2025/0922/CLOPUD	LOC	Milltown Cemetery 564 Falls Road, Belfast, BT12 6EQ	The proposed lands are within the planning unit of Milltown Cemetery and form part of the Cemetery. The use of the lands for burial and associated use, is consistent with the established use of the lands as a Cemetery.	Permitted Development
LA04/2025/0912/F	LOC	96, 98 & 100 Edinburgh Street, Belfast, BT9 7DT	Demolition of existing two storey rear returns and erection of 3No new two storey rear returns to 3No dwellings	Permission Granted
LA04/2025/0919/F	LOC	17 Knightsbridge Park, Stranmillis, Belfast, BT9 5EH	Single storey rear extension alongside replacement single storey extension of existing conservatory with alterations to front elevation including hipped roof and windows.	Permission Granted

LA04/2025/0928/F	LOC	IKEA, 306 Airport Road West, Belfast, BT3 9EJ	External alterations / upgrades to facade of existing building, multistorey car park including trade dress improvements. Additional site works.	Permission Granted
LA04/2025/0927/A	LOC	IKEA, 306 Airport Road West, Belfast, BT3 9EJ	20no. shop signs on external façade of buildings and directional signage on premises. 17no. flag advertisements.	Consent Granted
LA04/2025/1001/F	LOC	St Oliver Plunkett Primary School, 27B Glenveagh Drive, Belfast, BT11 9HX	Temporary double modular unit to accommodate 2no. classrooms and associated facilities.	Permission Granted
LA04/2025/0931/CLEUD	LOC	28B Malone Park, Belfast, BT9 6NJ	Existing Ground Floor Short term let accomodation.	Permitted Development
LA04/2025/0937/F	LOC	6 Manna Grove, Belfast, BT5 6AJ	Single storey rear and side extension, fenestration changes.	Permission Granted
LA04/2025/0956/F	LOC	38 Kirkliston Park, Belfast, BT5 6EB	Single storey extension with rooflights to rear	Permission Granted
LA04/2025/0952/F	LOC	24 Wynchurch Walk, Belfast, BT6 0JS	Single storey rear extension and patio area. Addition of first floor window. (amended description).	Permission Granted
LA04/2025/0950/F	LOC	27 Eglantine Avenue, Belfast, BT9 6DW	Erection of roller shutter at rear boundary of property (retrospective)	Permission Granted
LA04/2025/0962/DC	LOC	Site of the former Finlay's Factory south east of Ballygomartin Road, north of Moyard Crescent, northwest of Springfield Heights and Springfield Park, Belfast BT13 3QZ	Discharge condition 11 of LA04/2023/2338/F - Invasive Species Management Plan.	Condition Discharged
LA04/2025/0976/LBC	LOC	35-39 Royal Avenue, Belfast, BT1 1FD	Alterations to shopfront	Consent Granted
LA04/2025/0957/F	LOC	52 Ramoan Gardens, Belfast, BT11 8LN	First floor rear and side extension	Permission Granted

LA04/2025/0977/NMC	LOC	47 Wynchurch Road, Belfast, BT6 0JH	NMC to LA04/2023/4316F- Relocate a single rear door to the front of the extension. Relocation of a window on the side elevation to the rear elevation of the ground floor extension.	Non Material Change Granted
LA04/2025/0987/F	LOC	Mercy College Bilston Road, Belfast, BT14 7QR	The provision of a temporary double classroom modular unit with toilets and associated siteworks.	Permission Granted
LA04/2025/0985/F	LOC	40 Ormiston Crescent, Belfast, BT4 3JQ	Retrospective detached garden room.	Permission Granted
LA04/2025/1005/F	LOC	14 Lagmore View, Lagmore, Belfast, BT17 0UL	Single storey side extension and new gated access to front of dwelling.	Permission Granted
LA04/2025/1024/DC	LOC	1 Hospital Road, Belfast, BT8 8JP	Discharge of condition 10, 11 & 12 LA04/2025/0639/F- Remediation Strategy, New Contamination encounter & Verification Report	Condition Partially Discharged
LA04/2025/1019/F	LOC	236-238 Ormeau Road, Ormeau, Belfast, BT7 2FZ	Retrospective alterations to shop front	Permission Granted
LA04/2025/1012/LBC	LOC	Ulster Museum Botanic Gardens, Belfast, BT9 5AB	Installation of public sculpture 'Airborne Men', on external facade of Ulster Museum	Consent Granted
LA04/2025/1021/F	LOC	13 Schomberg Park, Belfast, BT4 2HH	Rear single storey extension. Two storey front extension.	Permission Granted
LA04/2025/1039/F	LOC	65 Sicily Park, Belfast, BT10 0AN	Replacement roof to ground floor side bedroom and utility room. Including raising wall height and fenestration changes.	Permission Granted
LA04/2025/1056/A	LOC	28-32 Donegall Place Belfast BT1 5BB	Illuminated fascia shop signage and 2 projecting signs	Consent Granted
LA04/2025/1054/F	LOC	Stradivarius 28 to 32 Donegall Place, Belfast, BT1 5BB	Rufurbishment to shopfront elevation and other associated works to include fire escape access and stairs to rear.	Permission Granted

LA04/2025/1047/LBC	LOC	Unit 2-3, State Buildings, 16-22 Arthur Street, Belfast, BT1 4GE	Existing ground and first floor shop fit to be removed and replaced with new, walls to be made good, fitting room stud walls to be erected. Current ceiling to be removed and replaced with new. Installation of new shop signage.	Consent Granted
LA04/2025/1046/A	LOC	Unit 2-3, State Buildings, 16-22 Arthur Street, Belfast, BT1 4GE	1 fascia sign, 1 projecting sign, 2 internally hung illuminated signs & signage on awnings	Consent Granted
LA04/2025/1040/F	LOC	32 Kingsway Gardens, Knock, Belfast, BT5 7DQ	Garage conversion and extension. Garage roof alterations.	Permission Granted
LA04/2025/1030/F	LOC	27 Brians Well Grove, Dunmurry, BT17 0YQ	Single storey rear and side extension	Permission Granted
LA04/2025/1032/F	LOC	15 Shrewsbury Gardens, Belfast, BT9 6PJ	Single storey rear extension, rear/side dormer, additional rooflights, partial demolition to garage and rear return, new garden room and access gate widened	Permission Granted
LA04/2025/1033/F	LOC	26 Millar Street, Ballynafoy, Belfast, BT6 8JZ	Single Storey rear extension.	Permission Granted
LA04/2025/1034/F	LOC	270 Whitewell Road, Newtownabbey, BT36 7NH	Two-storey side extension	Permission Granted
LA04/2025/1036/F	LOC	43 The Green, Belfast, BT17 0QA	Single storey rear and side extension	Permission Granted
LA04/2025/1060/DC	LOC	Lands approximately 700m north of 28 Colinglen Road, Dunmurry, Belfast, BT17 0LR	Discharge of condition 12 LA04/2021/2862/F- Final Construction Environmental Management Report	Condition Not Discharged
LA04/2025/1076/F	LOC	77 Greystown Avenue, Belfast, BT9 6UH	Single storey rear extension	Permission Granted
LA04/2025/1081/CLEUD	LOC	70 Agincourt Avenue, Belfast, BT7 1QB	Existing House of multiple occupation (HMO)	Permitted Development

LA04/2025/1068/LBC	LOC	Wave Trauma Centre, Rathvarna House 5 Chichester Park South, Skegoneill, Belfast, BT15 5DW & 4 Chichester Park Central Belfast BT15 5DU	Demolition and alteration of boundary wall to create new vehicle access. (Retrospective)	Consent Granted
LA04/2025/1072/F	LOC	82 White Rise, Belfast, BT17 0XD	Single storey rear extension. Amendment to LA04/2024/0865/F	Permission Granted
LA04/2025/1070/LBC	LOC	Arthur Chambers, 14 Arthur Street, Belfast, BT1 4GD	Installation of insulation at eaves level to part of the front pitched roof.	Consent Granted
LA04/2025/1079/A	LOC	The Keep, Castle Arcade/Castle Lane, Belfast, BT1 5DG	3 Internally hung illuminated letter signs, 1 fascia sign, 1 projecting sign.	Consent Granted
LA04/2025/1140/F	LOC	35-39 Royal Avenue, Belfast, BT1 1FD	Alterations to shopfront	Permission Granted
LA04/2025/1147/F	LOC	6 Rushfield Avenue, Belfast, BT7 3FP	Single storey rear extension	Permission Granted
LA04/2025/1099/F	LOC	133 Henderson Avenue, Belfast, BT15 5FP	Single storey rear extension. Creation of new side window.	Permission Granted
LA04/2025/1133/F	LOC	Ulster Museum Botanic Gardens, Belfast, BT9 5AB	Installation of public sculpture 'Airborne Men', on external facade of Ulster Museum	Permission Granted
LA04/2025/1091/DCA	LOC	18 Osborne Park, Belfast, BT9 6JN	Demolition of porch constructed in/around 1967. Refer to Design Statement attached with this DCA.	Consent Granted
LA04/2025/1097/F	LOC	125 Hyndford Street, Belfast, BT5 5JF	change of use from residential dwelling (class c1) to cultural use museum (class d1)	Permission Granted
LA04/2025/1121/LBC	LOC	Pavilion 6 of former Belvoir Park Hospital	Amendment to extant permissions LA04/2024/1043/F & LA04/2024/1072/LBC to change the approved 1bed units (Apts. 3 & 7) to 2 bed units.	Consent Granted

LA04/2025/1123/NMC	LOC	Lands immediately south of the junction of Mountpottinger Road and Mountpottinger Link and east of Short Strand Bus Station Belfast BT5 4LA	Non Material change to planning application LA04/2022/0428/F - Straight/flat heads to replace arches at ground floor openings to courtyard on rear elevation. Replacement of timber panel detail with masonry and coloured ceramic tile . Provision of 2no. juliet balconies to replace projecting top floor steel balconies	Non Material Change Granted
LA04/2025/1141/F	LOC	2 Ladybrook Grove, Belfast, BT11 9FB	Rear dormer extension to existing dwelling.	Permission Granted
LA04/2025/1157/F	LOC	92 Sunnyside Street, Belfast, BT7 3EG	Proposed Change of Use of 4 bed/ 4 person Residential Property to 4 bed/ 4 person House of Multiple Occupancy (HMO)	Permission Granted
LA04/2025/1125/F	LOC	Fortwilliam Golf Club, 8 Downview Avenue, Belfast, BT15 4EZ	Proposed 30m monopole with 12no. antennas, 4no. transmission dishes, 6no. equipment cabinets and ancillary development	Application Withdrawn
LA04/2025/1127/F	LOC	29 Hazel View, Belfast, BT17 0WQ	Single storey rear extension	Permission Granted
LA04/2025/1153/LBC	LOC	Riddel's Warehouse 87-91 Ann Street, Belfast, BT1 3GH	External façade lighting to the window reveals at ground, first floor and to the arches at the top of the building.	Consent Granted
LA04/2025/1185/F	LOC	43 Ballymiscaw Road, Holywood, BT18 9RR	Detached double garage and solar plant room with ancillary games room and home office, including minor extension to domestic curtilage to facilitate revised driveway	Permission Granted

LA04/2025/1181/F	LOC	14 Owenvarragh Park, Belfast, BT11 9BD	Removal of existing conservatory and construction of single storey rear and side extension	Permission Granted
LA04/2025/1190/F	LOC	3 Eileen Gardens, Belfast, BT9 6FW	Repairs and renovation of roof, chimneys and second floor attic rooms including addition of conservation rooflight to front elevation and enlargement of existing rooflight at rear.	Permission Granted
LA04/2025/1191/DCA	LOC	3 Eileen Gardens, Belfast, BT9 6FW	Partial demolition of existing roof to accommodate proposed roof lights	Consent Granted
LA04/2025/1192/DC	LOC	Lands adjacent to Glenriver, 78 Cloona Park Belfast.	Discharge Condition no. 3 of Planning approval LA04/2022/1203/F.	Condition Discharged
LA04/2025/1193/DCA	LOC	15 Shewsbury Gardens, Belfast, BT9 6PJ	Demolition of existing rear return, fenestrations and chimney, partial demolition of garage, roof to accommodate dormer and rooflights, partial demolition of access gates	Consent Granted
LA04/2025/1214/F	LOC	33 Willesden Park, Belfast, BT9 5GX	Demolition of rear return to allow for provision of single storey rear extension and patio area	Permission Granted
LA04/2025/1217/NMC	LOC	12 Loughview Heights, Old Park, Belfast, BT14 8QR	Change to approved external finishes (LA04/2024/2007/F) from facing brick to block outer leaf with smooth render finish and masonry white paint finish.	Non Material Change Granted
LA04/2025/1261/NMC	LOC	Lands South and East of 148-163 Lagmore View Lane North and West of 37, 81, 82 and 112 Lagmore Glenand Lagmore View Road, Belfast	Non-Material Change to plot no.168 previously approved under ref: LA04/2021/1808/F (infill of approved porch at front door to meet requirements of the social housing provider and enlarged dormers to front and rear)	Non Material Change Granted

LA04/2025/1236/MDPA	LOC	Lands Adjacent To And South East of The River Lagan, West of Olympic way of Queen's Road, Queen's Island, Belfast, BT2 9EQ	Clause 1.1 (Schedule 1 Part B) of the Section 76 Agreement associated with planning permission LA04/2021/2280/F- public realm management plan.	Condition Discharged
LA04/2025/1274/DC	MAJ	Plot 2 Intensive Support Unit Glenmona Development Monagh Bypass, Andersonstown, Belfast, BT11 8BX	Discharge of Condition no. 9 LA04/2020/0804/F Remediation Strategy for removal of Asbestos	Condition Not Discharged
LA04/2025/1240/F	LOC	Avenue One Recycling 1 ADVANTAGE WAY BALLYMAGARRY BELFAST BT13 3LZ	Extension to rear of warehouse for storage.	Permission Granted
LA04/2025/1250/A	LOC	Office, 2 High Street , Belfast, BT1 2BA	2 Fascia shop signs & 2 Projecting shop signs	Consent Granted
LA04/2025/1370/A	LOC	J P Corry 648 Springfield Road, Belfast, BT12 7EH	3 illuminated signs	Consent Granted
LA04/2025/1252/F	LOC	55 Tullymore Gardens, Belfast, BT11 8NG	Single storey rear extension with an extension to existing raised patio (Amended Description)	Permission Granted
LA04/2025/1257/DC	LOC	Lands adjacent to and south east of the river lagan, west of Olympic way of Queen's Road, Queen's Island, Belfast, BT2 9EQ	Discharge condition 2 of LA04/2021/2280/F- Phasing Plans and Autotracking Plan. (Previously approved under LA04/2022/1706/DC).	Condition Discharged
LA04/2025/1280/A	LOC	Diageo Global Supply 3 Marshalls Road, Belfast, BT5 6SL	1no. high-level illuminated sign	Consent Granted
LA04/2025/1264/F	LOC	35 Stranmillis Park, Belfast, BT9 5AU	Single storey rear extension	Permission Granted
LA04/2025/1353/F	LOC	101 Cloona Park, Dunmurry, Belfast, BT17 0HF	Single storey rear extension. Bay window and porch extension to front elevation	Permission Granted

LA04/2025/1267/F	LOC	Wardens House, The Belgravia, 119 Lisburn Road, Malone Lower, Belfast, BT9 7AP	Conversion and remodeling of existing former two storey wardens house into two flats to provide additional sheltered housing accommodation.	Permission Granted
LA04/2025/1277/F	LOC	17 Pembridge Court, Belfast, BT4 2RW	Bay window extension to side, elevational changes to create new openings. Dormer window to rear, 3no. roof lights to front and additional site works.	Permission Granted
LA04/2025/1273/F	LOC	129 Deramore Avenue, Belfast, BT7 3ET	Single storey rear extension, first floor rear extension plus walled garden with 2 velux windows to the roof (amended description)	Permission Granted
LA04/2025/1286/F	LOC	11 Ebrington Gardens, Belfast, BT4 3BY	Rear dormer window and 2no. roof lights to front	Permission Granted
LA04/2025/1276/F	LOC	39 Haddington Gardens, Belfast, BT6 0AN	Attic conversion with rear dormer	Permission Granted
LA04/2025/1319/DC	LOC	Lands at the Gasworks Northern Fringe site; bounded to the north by McAuley Street Stewart Street and Raphael Street; Cromac Street to the west; the River Lagan and Belfast-Newry railway line to the east; and the Gasworks Business Park to the south.	Discharge of condition 17 and 19 LA04/2021/1672/O - Proposed window schedules and accompanying details for Sites A and D/NIE	Condition Discharged
LA04/2025/1303/F	LOC	34 Mount Merrion Park, Belfast, BT6 0GB	Single storey side and rear extension. Single storey garden room with landscaping and additional site works.	Permission Granted
LA04/2025/1323/F	LOC	7 Thornhill Crescent, Belfast, BT5 7AS	Two storey side and rear extension.	Permission Granted

LA04/2025/1293/F	LOC	52 Denmark Street, Belfast, BT13 1AN	Single story rear extension.	Permission Granted
LA04/2025/1313/F	LOC	19 Irwin Crescent, Belfast, BT4 3AQ	Demolition of detached garage and partial demolition to dwelling to facilitate single storey side and rear extension. Landscaping and additional works.	Permission Granted
LA04/2025/1317/F	LOC	274 Forthriver Road, Belfast, BT13 3UT	Single storey rear extension with access platform.	Permission Granted
LA04/2025/1336/F	LOC	8 Belmont Park, Belfast, BT4 3DU	Retrospective conversion of domestic garage into annex. Garage door replaced with block work and door.	Permission Granted
LA04/2025/1331/F	LOC	166 Bingnian Drive, Belfast, BT11 8JD	Single storey rear extension and installation of platform lift to front of property.	Permission Granted
LA04/2025/1333/F	LOC	29 High Street, Belfast, BT1 2AA	Proposed Change of Use of upper floors from Office (Class B1a) to Short Term Let (Sui Generis)	
LA04/2025/1346/LBC	LOC	British Broadcasting Corporation Broadcasting House 25 Ormeau Avenue, Belfast, BT2 8HQ	Window replacement scheme to the 3 storey TV Block on the North West of the application site. Fenestration to remain as existing with replacement materials and details to match existing. New roller shutters and louvres along the ground floor.	Consent Granted
LA04/2025/1367/A	LOC	Park House 87-91 Great Victoria Street, Belfast, BT2 7AG	1 Projecting sign, 1 Shop sign	Consent Granted
LA04/2025/1355/CLOPUD	LOC	Ground Floor 33-37 Stranmillis Road, Belfast, BT9 5AF	Change of use from dental and skincare clinic (D1) to healthcare facility (D1) with internal alterations	Permitted Development
LA04/2025/1360/A	LOC	1 Boucher Road, Belfast, BT12 6HR	1 Other - Building Arch, 1 Building wrap, 2 Projecting sign, 2 Shop sign, 2 Other - Pylon	Consent Granted
LA04/2025/1362/CLEUD	LOC	13 Wolseley Street, Belfast, BT7 1LG	Existing 5 bedroom / 5 person House of Multiple Occupancy (HMO)	Permitted Development

LA04/2025/1368/A	LOC	124-126 Kingsway, Belfast, BT17 9NP	4 Illuminated signs	Consent Granted
LA04/2025/1396/WPT	LOC	31 Cleaver Park, Belfast, BT9 5HY	3 cherry blossom trees. 1 at front 2 in rear garden. Pruning/crowning requested approx 5-10 meters off circumferences	Works to Trees in CA Agreed
LA04/2025/1377/DC	LOC	Former Visteon Factory Blacks Road, Belfast BT10	Discharge of Condition 30 for Phase 8 and 9 Z/2013/1434/F - Noise Verification Report	Condition Partially Discharged
LA04/2025/1383/LBC	LOC	UNTOLD : THE MUSEUM LIMITED, 28 Bedford Street, Belfast, BT2 7FE	Removal of suspended ceiling tiles and grid, carpet floor finishes, modern timber stud partitions and asbestos insulating board to the underside of the floors above on part ground and first floors.	Consent Granted
LA04/2025/1384/LBC	LOC	Mayfair Building, 8 Arthur Square, Belfast, BT1 4FD	Replacement of flat roof coverings including insulation upgrades, stone repairs and replacement. Removal and disposal of external lighting.	Consent Granted
LA04/2025/1402/CLEUD	LOC	Apartment 2, 9 Ulsterville Place, Belfast, BT9 7BH	House of multiple occupation (HMO)	Permitted Development
LA04/2025/1401/LBC	LOC	Ulster Scots Community Network 1-9 Victoria Street, Belfast, BT1 3GA	Repair and renovation to historical facades of the Corn Exchange Building on Victoria and Gordon Street, including repairs to the existing ashlar sandstone features, use of replacement stone and application of specialist repair mortars as required.	Consent Granted
LA04/2025/1421/F	LOC	24 Donegall Avenue, Belfast, BT12 6LX	Change of Use from Dwelling to HMO Double storey rear extension and internal alteration.	Application Withdrawn

LA04/2025/1409/F	LOC	44 South Parade, Belfast, BT7 2GP	Partial demolition of existing walls and roof to accommodate single storey rear extension	Permission Granted
LA04/2025/1448/F	LOC	Moyard House 88-90 Moyard Park, Belfast, BT12 7FT	Proposed material change from 17 hostel units and ground floor office accommodation to 17 “general needs” flat accommodation, ground floor ancillary accommodation and the construction of 2 x external bin compounds	Application Withdrawn
LA04/2025/1428/MDPA	LOC	Premises at 41, 43, 45, 47, 49, 43a and 55 Tates Avenue, Belfast, BT9 7BY	Section 76 First Schedule, Clause 4 Part 4.1 LA04/2021/2544/F- Car Club Strategy	Condition Discharged
LA04/2025/1483/F	LOC	64 Andersonstown Road, Belfast, BT2 8LA	Relocation of bicycle stand as approved under planning permission LA04/2020/2077/F (Retrospective)	Permission Granted
LA04/2025/1455/DC	LOC	Units 2a and 2b, 38 Boucher Road, Belfast, BT12 6HR	Discharge of condition 8 of LA04/2024/0714/F - Piling Risk Assessment	Condition Discharged
LA04/2025/1438/CLEUD	LOC	21 Wolseley Street, Belfast, BT7 1LG	Existing use as a 5 person 5 bedroom House of Multiple Occupancy (HMO)	Permitted Development
LA04/2025/1468/DC	LOC	Lands adjacent to and South East of the river Lagan, West of Olympic way of Queen's road, Queens Island, Belfast, BT2 9EQ.	Discharge condition 42 of LA04/2021/2280/F-Overarching Signage Strategy.	Condition Discharged

LA04/2025/1478/PAN	LOC	Site includes open land along the bottom of Milltown Cemetery, land adjacent to 8 Blackstaff Way, open area between Blackstaff Way and M1 Motorway, land in-between 5 Blackstaff Way and M1 Motorway and NI Water Upper Falls site Kennedy Way.	Second phase of the West Belfast Greenway, forming a key link in the west of the city and part of the Belfast Cycling Network Delivery Plan. The greenway will consist of a 4m wide public path for shared cyclist and pedestrian use, linking the Bog Meadows to Kennedy Way. Access to the greenway will be via the Bog Meadows, Kennedy Way and Blackstaff Way.	PAD Concluded
LA04/2025/1485/CLEUD	LOC	Newforge Country Club 18b Newforge Lane, Belfast, BT9 5NW	Construction of sand based hockey pitch, 3G football pitch, 2G - 5-a-side football pitches (plural), bowling green, erection of 16no.floodlight columns and associated lights, all associated perimeter fencing, car parking (plural) including lighting columns, and foundation of club house / pavilion and tiered seating. By virtue of these operations undertaken, which fall within the scope of Section 23 - Meaning of Development in the Planning Act (NI) 2011	Permitted Development
LA04/2025/1487/NMC	LOC	Christ the Redeemer Parish Hall and lands immediately north and west of Christ the Redeemer Church, Lagmore Drive, Dunmurry, Belfast, BT17 0TG	Amendments to the wording of Condition 7 (landscaping works) attached to planning permission LA04/2023/2890/F to allow the phased implementation of the approved landscaping.	Non Material Change Granted

LA04/2025/1498/DC	LOC	Lands adjacent to and South East of the river Lagan, West of Olympic way of Queen's road, Queens Island, Belfast, BT2 9EQ	Discharge conditions 12 and 35 of LA04/2021/2280/F- Verification report (Block 9).	Condition Discharged
LA04/2025/1488/CLEUD	LOC	Flat 1, 2 Surrey Street, Belfast, BT9 7FS	Existing use as residential apartment	Permitted Development
LA04/2025/1497/LBC	LOC	Scottish Provident Building 7 Donegall Square West, Belfast, BT1 6JH	<p>Repair and reinstatement of damaged sandstone elements to the external façades. Loose, delaminated and defective stone will be identified, removed, and replaced with new natural stone to match the existing in colour, texture and profile. Where appropriate, mortar repairs using lime-based mixes will be carried out to consolidate minor areas of surface loss.</p> <p>Open or defective joints will be raked out and repointed with lime mortar. Localised cleaning and biocide treatment will be undertaken. Temporary propping and crash decks will be installed where required to ensure safety during works.</p>	Consent Granted
LA04/2025/1474/WPT	LOC	11 Richhill Crescent, Belfast, BT5 6HF	Works to TPO protected trees	Works to TPO Granted
LA04/2025/1510/DC	LOC	45 Belvedere Park, Belfast, BT9 5GS	Discharge of condition 2, 8 & 9 LA04/2019/2936/F- Brick and roof samples, Structural survey and Construction Management Plan	Condition Partially Discharged

LA04/2025/1496/WPT	LOC	83 Balmoral Avenue Belfast BT9 6NZ	Crwon reduction to 1 x oak and 1 x Beech tree.	Works to Trees in CA Agreed
LA04/2025/1508/WPT	LOC	47 Marlborough Park South, Belfast, BT9 6HR	Sycamore tree - to re-pollard Birch tree - full prune reducing significantly away from property	Works to TPO Granted
LA04/2025/1515/LBC	LOC	53 Park Road, Belfast, BT7 2FX	Provision of secondary glazing to front bay windows on ground floor	Consent Granted
LA04/2025/1520/F	LOC	35 Corrina Park, Belfast, BT17 0HA	Window and door alterations including rendering of main rear ground floor walls.	Permission Granted
LA04/2025/1553/A	LOC	Unit 17 Ug 1 Victoria Square, Belfast, BT1 4QG	Illuminated Fascia Sign	Consent Granted
LA04/2025/1545/WPT	LOC	10 Lacefield, Belfast, BT4 3PA	Works to trees in a conservation area	Works to TPO Granted
LA04/2025/1547/LBC	LOC	11-16 Donegall Square East, Belfast, BT1 5UB	Internal works to facilitate the removal and replacement of 1 No. cash machine, together with necessary adjustments to the automation wall and the redecoration of skirting	Consent Granted

LA04/2025/1548/WPT	LOC	31 Kensington Road, Belfast, BT5 6NH	A large tree in my neighbour's garden is significantly overhanging into my garden and blocking light into my garden. It prevents sunlight from getting into a large corner of my garden (and has destroyed my raspberries). My neighbour (address 90 Shandon Park) advises it has a TPO. I want to significantly cut back the tree overhanging my garden. My neighbour has confirmed this is in order. The following photos in this application provide clear illustration of the growth over my garden.	Works to TPO Granted
LA04/2025/1566/A	LOC	Queens Business School, Riddel Hall 185 Stranmillis Road, Belfast, BT9 5EE	Vertical non-digital Totem sign	Consent Granted
LA04/2025/1580/F	LOC	The Print Hall, 2 Hannahstown Hill, Hannahstown, Belfast, BT17 0LT	Proposed extension and remodelling of ground floor to extend first floor daycare	Application Withdrawn
LA04/2025/1572/WPT	LOC	Dunraven 104 Malone Road, Belfast, BT9 5HP	. Sectionally dismantle to ground level 1x Betula pendula on the property's rear boundary, to minimise the potential risk of failure, and potential for structural damage to the neighbouring property.	Works to TPO Granted

LA04/2025/1574/WPT	LOC	11 Adelaide Park , Belfast, BT9 6FX	<p>Complete prune with crown reductions of approximately 30% (2.5-3m) , 2x Betula pendula at the rear of the property to minimise the potential risk of failure, increase the light exposure and reduce the leaf fall/litter, as discussed during our site visit.</p> <p>. Complete prune with crown reductions of approximately 30% (2.5-3m), 2x Aesculus hippocastanum on the rear boundary of the property to minimise the potential risk of failure, increase the light exposure and reduce the leaf fall/litter, as discussed during our site visit.</p> <p>. Removal of the section of diseased (Ganoderma) Laurel shrubbery on the rear boundary to allow installation of replacement existing fencing damaged by the Laurel, as discussed during our site visit.</p>	Works to Trees in CA Agreed
LA04/2025/1573/WPT	LOC	8 Danesfort Park Central, Belfast, BT9 5RB	Sectionally dismantle to ground level 1x Tilia x europea in the property's front garden to minimise the potential risk of failure and structural damage due to building proximity.	Works to TPO Granted
LA04/2025/1598/DCA	LOC	4 Kirkliston Drive, Belfast, BT5 5NX	Addition of proposed gates and fencing to divide driveway, parking and garden area at an existing building used as a supported living HMO property.	Application Withdrawn

LA04/2025/1571/PRELIM	LOC	Harlequins Rugby Club, 45a Deramore Park, Belfast	Re-roofing of the stand	PAD Concluded
LA04/2025/1595/F	LOC	5 Harberton Drive, Belfast, BT9 6PE	Addition of a first floor window on the North elevation	Permission Granted
LA04/2025/1596/DCA	LOC	5 Harberton Drive, Belfast, BT9 6PE	Demolition on North elevation to allow for new window opening.	Consent Granted
LA04/2025/1604/PAN	MAJ	Halifax Building, 24 Cromac Place, Belfast, BT7 2JB	Proposed change of use from offices to nursing home comprising c.160-180 no. bedrooms, all associated ancillary accommodation which could include day rooms, hairdressers, cinema room, restaurant, treatment rooms, clinic and consulting rooms, and scanning. Proposal also includes communal areas, courtyard, ancillary offices, external alterations and all other site and associated works	Proposal of Application Notice is Acceptable
LA04/2025/1657/WPT	LOC	Bishop Of Down & Connor Lisbreen 73 Somerton Road, Belfast, BT15 4DE	<p>The tree work for Lisbreen was crown clean of 2 oak trees.</p> <p>Remove broken conifer branch.</p> <p>Tree number 19 horse chestnut reduce by 3 metres just do failing crown and possible bark death.</p> <p>Clear phone wires at maple tree</p> <p>Cut back any heavy limbs on roadside.</p>	Works to Trees in CA Agreed
LA04/2025/1658/F	LOC	1 Ashley Grove, Belfast, BT17 9EA	Roofspace conversion with side dormers and new windows to front and rear elevations	Permission Granted

LA04/2025/1648/WPT	LOC	43A Malone Park Belfast	Two trees over hang from adjoining properties at rear garden of dwelling.	Works to TPO Granted
LA04/2025/1687/PRELIM	LOC	Lands, At Church Road/ Ballygowan Road, Castlereagh, Belfast, BT6 9SA	Roselawn Extension	PAD Concluded
LA04/2025/1701/WPT	LOC	33 Osborne Park, Belfast, BT9 6JN	2x Lime trees at bottom of back garden of property: 3m crown reduction and thinning, removal of epicormic shoots. Sycamore tree in front garden beside driveway: 2m crown reduction and thinning	Works to Trees in CA Agreed
LA04/2025/1688/WPT	LOC	7 The Park, Belfast, BT17 OER	Works to Protected Trees	Works to TPO Granted
LA04/2025/1721/DC	LOC	Vacant lands at access road to Olympia Leisure Centre – directly opposite and approx. 70m east of Nos 9-15 Boucher Road, Belfast	Discharge of condition 8 LA04/2025/0537/F - Piling Methodology Risk Assessment (Previous Approval LA04/2021/2815/F)	Condition Discharged
LA04/2025/1761/A	LOC	Unit 3 Ug 1 Victoria Square, Belfast, BT1 4QG	2 illuminated Shop signs	Consent Granted
LA04/2025/1809/WPT	LOC	73 Myrtlefield Park, Belfast, BT9 6NG	Felling of tree/s as danger to other properties during high winds/storms	Works to Trees in CA Agreed
				<u>Total Decisions</u>

Live Major Applications not previously considered by Committee @ 04.11.25

Number	Application No.	Category	Location	Proposal	Date Valid	Target Date	Status
1	LA04/2023/2633/F	Major	St Teresa's GAC, 2 Glen Road Heights, Belfast BT11 8ER	Proposed extension to existing clubhouse to provide indoor sports hall, changing rooms, reception, and fitness suite. Proposed relocation of grass pitch and new 4G training pitch with integrated ball walls. Proposed annex building with club store and matchday shop. Site works including increased parking, fencing, catch nets, floodlighting, dugouts, paths, and other associated amenities.	14-Mar-23	10-Oct-23	Under Consideration
2	LA04/2023/3799/F	Major	Vacant lands (partial site of the former Wolfhill Flax Spinning Mill) located to the south, of Wolfhill Manor, north of Wolfhill Grove and west of Mill Avenue, Ligoniel Road, Belfast, BT14 8NR	New single storey 10-class based primary school, separate nursery school accommodation and school meals accommodation to facilitate the relocation of St. Vincent De Paul Primary School and Nursery from existing site on Ligoniel Road, Belfast. Proposal includes new pedestrian and vehicular accesses onto Mill Avenue, car parking, covered cycle storage area and hard play areas. Hard and soft landscaping including wildlife walkway, fencing, retaining walls, underground drainage system to include the reinstatement of underground storm sewer and headwall into adjacent DFI River wayleave. Includes temporary contractors compound and all associated site works.	09-Oct-23	06-May-24	Under Consideration
3	LA04/2023/4181/F	Major	Lands comprising the existing Sydenham Wastewater Pumping Station west of Park Avenue, Connswater River and King George V Playing Fields, to the south of the Sydenham By-Pass, east of The Oval football stadium, north and east of Parkgate Gardens and north of Parkgate Crescent, Parkgate Parade and Mersey Street, Belfast	Demolition of existing Wastewater Pumping Station (WwPS) with reinstatement of site as a landscaped area. Construction of a replacement WwPS including associated control building and hardstanding, the raising of site levels, in-channel works, provision of new rising main, other ancillary buildings, the creation of an access road on lands within the King George V Playing Fields to serve the facility, landscaping and other ancillary works. Provision of a temporary working area on lands within the King George V Playing Fields, the creation of a temporary access road from Mersey Street to facilitate construction traffic on lands to the rear of 1-35 Parkgate Gardens, the creation of a temporary footway adjacent to 88 Park Avenue and other ancillary development and landscaping restoration works.	14-Nov-23	11-Jun-24	Under Consideration
4	LA04/2024/0015/F	Major	Lands at Cabin Hill, Upper Newtownards Road, Belfast BT4	Erection of 53 residential units (including 43 dwellings and 10 apartments) including creation of access, internal roads, landscaping and associated works (amended description and plans).	22-Dec-23	19-Jul-24	Under Consideration
5	LA04/2024/0569/O	Major	Stormont Hotel, 587 Upper Newtownards Road BT4 3LP and adjacent properties at Castleview Road (nos. 2, 4, 6, 16, 18, 20, 22, 24, 26, 28 & 30), Summerhill Parade (nos. 18, 20 & 22), and Summerhill Park (nos. 37 & 39) and rear of 160 Barnetts Road, Belfast (amended address)	Outline planning permission with all matter reserved for independent living (Use Class C1) units and up to 62no. assisted living units (Use Class C3), associated internal access roads, communal open space, revised access from Castleview Road, associated car parking, servicing, amenity space and landscaping.	04-Apr-24	31-Oct-24	Under Consideration
6	LA04/2024/0570/F	Major	Stormont Hotel, 587 Upper Newtownards Road BT4 3LP and adjacent property 37-39 Summerhill Park, Belfast.	Change of use of from hotel, conference centre and offices (sui generis) to a 97-bed care home (Use Class C3(b) and 1,559sqm diagnostic medical facility (Use Class D1(a), associated access, car parking, landscaping and open space.	04-Apr-24	31-Oct-24	Under Consideration
7	LA04/2024/0910/F	Major	70 Whitewell Road, Newtownabbey, BT36 7ES Site at Hazelwood Integrated College	Redevelopment of Hazelwood Integrated College to include demolition of existing building and development of new school campus, new sports pitch, outdoor play areas, car parking, hard and soft landscaping and retention and refurbishment of the Listed Building (Graymount House) and other associated site works including a temporary mobile village during the construction process.	23-May-24	19-Dec-24	Under Consideration

8	LA04/2024/1836/F	Major	Lands between Ballygomartin Road and Upper Whiterock Road and to the west (rear) of Moyard Parade and New Barnsley Crescent, Belfast Co. Antrim BT13 3QZ	Proposed development of new walking trails linking Black Mountain Shared Space Project building (approved under LA04/2022/0853/F) on the Ballygomartin Road with the Upper Whiterock Road and Moyard Parade. Proposal to include gated accesses, stockproof fencing, seated areas, information signage, landscaping and associated site works.	25-Nov-24	23-Jun-25	Under Consideration
9	LA04/2024/2024/RM	Major	Royal Ulster Agricultural Society, the Kings Hall, 488-516 Lisburn Road, Belfast, BT9 6GW	41no. retirement living apartments at Plot 6, parking and landscaping in accordance with outline planning permission LA04/2020/0845/O, seeking approval of layout, scale, appearance and landscaping details	18-Dec-24	16-Jul-25	Under Consideration
10	LA04/2024/2134/F	Major	Site of the former Dunmurry Cricket Club, Ashley Park, Dunmurry, Belfast BT17 0QQ, located north of 1-10 Ashley Park and south of 1-20 Areema Grove and Areema Drive, Dunmurry.	Mixed use scheme for new community recreational facilities, including basketball court, parkland and residential development comprising 37no social/affordable housing units with landscaping and associated works.	21-Dec-24	19-Jul-25	Under Consideration
11	LA04/2024/2145/F	Major	Lands at North Foreshore / Giant's Park Dargan Road, Belfast, BT3 9LZ	Creation of a new Adventure Park comprising a community / visitor hub building including café, creche, flexible exhibition / community space, ancillary office space and maintenance yard. Development includes community gardens, bmx track, crazy golf, dog park, walking/running/cycle paths, outdoor amphitheatre, bio diversity zones, and recreational facilities. Associated landscaping and infrastructure (drainage, lighting, car / coach parking, WC block etc).	15-Jan-25	13-Aug-25	Under Consideration
Page 48 12	LA04/2025/0012/F	Major	Lands at the Waterworks Park, located off the Cavehill Road; and lands at Alexandra Park, located between Castleton Gardens and Deacon Street; extending along Castleton Gardens and Camberwell Terrace to the road junction approximately 30 metres to the north west of 347 Antrim Road, Belfast, BT15 2HF	<p>Refurbishment and safety work to the Waterworks upper and lower reservoirs, and Alexandra Park Lake reservoir, to be complemented with wider environmental, landscape and connectivity improvements.</p> <p>The reservoir works comprise of a new overflow structure with reinforcement and protection of the return embankment parallel to the by-wash channel at Waterworks Upper reservoir. Repairs to the upstream face of Waterworks Lower reservoir with the addition of wetland planting to reduce the overall capacity of the reservoir. Removal of an existing parapet wall and embankment reinforcement at the Alexandra Park Lake reservoir.</p> <p>Improvements at Waterworks Park comprise the demolition of the existing Waterworks Bothy and replacement with a new building to include public toilets, Changing facilities, multi-purpose community room and kitchenette. Extension to existing Cavehill Road gatehouse building. Entrance improvements, new events space including multipurpose decking; resurfacing of footways; new pedestrian lighting along key routes; a dog park; replacement platforms and viewing area. New 3-on-3 basketball court; replacement surface to existing small sided 3G pitch; and upgrades to existing Queen Mary's playground.</p> <p>Improvements at Alexandra Park include the resurfacing of footways; new pedestrian lighting along key routes; new reinforced grass event space; new lake viewing area; new public toilets and changing places; entrance improvements. 2no existing bridges replaced; new pedestrian entrance; reimagined peace wall; new multi-sport synthetic surface with cover; and upgrades to existing play parks.</p> <p>Streetscape improvements along Camberwell Terrace and Castleton Gardens include resurfacing of footways with new kerbs; resurfaced carriageways and new tactile paving at pedestrian crossings; and all associated works.</p>	20-Dec-24	18-Jul-25	Under Consideration

13	LA04/2025/0088/F	Major	Lands adjacent and south west of Monagh By-pass, north west of Nos. 17, 19 and 22 Black Ridge Gardens and c.150 metres south east of Nos. 38 to 70 (evens) Black Ridge View (part of the wider Glenmona mixed-use development), Belfast	Proposed mixed use development (in lieu of the previously approved employment zone under LA04/2020/0804/F) comprising a three storey building of 36 no. Category 1 (over 55's) social housing apartments and 7 no. single storey Class B1/B2 Business/Light Industrial Units. Development includes 2 no. access points, car parking, landscaping and all associated site works	17-Feb-25	15-Sep-25	Under Consideration
14	LA04/2025/0184/O	Major	38-52 Lisburn Road, Malone Lower, Belfast, BT9 6AA	Seven storey building (39.3m AOD) mixed use development comprising of Use Class B1 (c): Business, Research & Development and Use Class, D1: Community and Cultural Uses, including landscaping, parking, and servicing (Amended Description).	10-Feb-25	08-Sep-25	Under Consideration
15	LA04/2025/0574/F	Major	Surface level car park at lands to east of Lanyon Place Station Mays Meadow, Belfast, BT1 3NR	Erection of eight storey building comprising seven floors of grade A office accommodation, ground floor retail / business units together with car parking (15 no. spaces), cycle parking and plant areas: and public realm improvements including dedicated drop-off area to front of building	17-Apr-25	13-Nov-25	Under Consideration
16	LA04/2025/0974/F	Major	Site to the south of the former Knockbreda High School. Lands bounded by the A55 Upper Knockbreda Road to the south and south-east, Wynchurch Road to the north-east, Knockbreda Primary School to the north and Knockbreda Park to the west.	Development of a new primary school building for Forge Integrated Primary School. including development of a nursery unit, hard and soft play areas, landscaping, car parking, internal drop-off areas and new access arrangements onto the A55 Knockbreda Road via a new signalised junction; demolition of no. 138a Knockbreda Park and associated site works	04-Jun-25	31-Dec-25	Under Consideration
Page 49 18	LA04/2025/1272/F	Major	Harberton North Special School 29a Fortwilliam Park, Belfast, BT15 4AP	Erection of temporary mobile classroom village to facilitate future refurbishment and extension of existing Harberton North Special School, comprising 3 no. 2-storey blocks of temporary classroom accommodation, temporary hard play areas, temporary staff and visitor parking areas, tree removal and landscaping.	31-Jul-25	13-Nov-25	Under Consideration
	LA04/2025/1525/F	Major	Units 2a and 2b 38 Boucher Road, Belfast, BT12 6HR	Removal of condition 9 of LA04/2024/0714/F (Removal of fuel storage tanks)	09-Sep-25	23-Dec-25	Under Consideration

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Planning Applications Discussed at Committee Between 01 Apr 2019 and 04 Nov 2025

Decision Description		Totals
		21
Application Withdrawn		
Consent Granted		2
Consent Refused		
Permission Granted		4
Permission Refused		2
Total		29

Application No.	Location	Proposal	Category	Date Valid	Statutory Target Date	Statutory Target Weeks	Current number of Weeks	Committee Date	Weeks between Valid date and Comm date	Weeks Since Committee	Previous New Non-statutory Target Date	New Non-statutory Target Date	Reason decision not issued
LA04/2022/2059/F <div>Page 51</div>	Lands south of 56 Highcairn Drive Belfast BT13 3RU Site located at junction between Highcairn Drive and Dunboyne Park Belfast.	Social Housing Development comprising of 12 no. 3p/2b semi-detached dwelling houses with incurtilage parking and associated site works. (amended description and site location plan)	LOC	04-Nov-22	17-Feb-23	15	157	29/06/2023	33	122	31/10/2025	31/12/2025	Awaiting Section 76 Agreement - land ownership issues on the applicant's side
LA04/2021/2016/F	21-29 Corporation Street & 18-24 Tomb Street Belfast.	Demolition of existing multi-storey car park and the erection of 298no. build for rent apartments (19 storey) including ground floor commercial unit (A1/A2), car/cycle parking provision along with associated development. (Further information received).	MAJ	26-Aug-21	24-Mar-22	30	219	16/01/2024	124	94	31/10/2025	30/11/2025	Awaiting Section 76 Agreement - wording of clauses and CoT finally agreed. S76 sent to applicant for signing

LA04/2024/0483/F	34-44 Bedford Street and 6 Clarence Street, Belfast	Proposed change of use from Office (B1) and restaurant (Sui Generis) to Hotel comprising of 88 no. bedrooms, two storey rooftop extension, restaurant and bar offerings, gym facilities, including new dormer windows on roof, internal and external refurbishment and alterations, and all associated site works.	MAJ	19-Mar-24	15-Oct-24	30	85	15/10/2024	30	55	Unknown	Unknown	Awaiting Section 76 Agreement - issues to be resolved on the applicant's side
LA04/2024/0480/DCA	34-44 Bedford Street and 6 Clarence Street, Belfast	Part demolition of existing buildings (stripping back of roof, shopfront and other external alterations to facilitate change of use and extension of buildings to hotel use.	LOC	29-Mar-24	12-Jul-24	15	84	15/10/2024	28	55	Unknown	Unknown	See above
LA04/2024/0369/F	Lands at Former Monarch Laundry site, and Broadway Hall Site, No's 451 - 457 Donegall Road, Belfast, BT12 6HD.	Proposed Specialist Nursing and Residential Care Facility comprising approximately 158 no. beds, day/dining rooms, treatment rooms, staff rooms, office/store rooms, including car parking provision, cycle parking, refuse storage, landscaping, and associated site and access works.	MAJ	08-Feb-24	05-Sep-24	30	91	12/11/2024	39	51	31/10/2025	Unknown	Awaiting Section 76 Agreement and new contamination issues - development commenced without planning permission and updated contaminated land survey submitted by applicant. Currently being reviewed by Environmental Health

LA04/2023/2557/F	Lands East of Meadowhill, North of Glencolin Court, North and East of Glencolin Rise, East of Glencolin Grove, North and West of Glen Road Rise, and North of Glen Road Grove. Belfast.	260 no. dwellings, children's play area and other ancillary and associated works.	MAJ	24-Feb-23	22-Sep-23	30	141	10/12/2024	93	47	Unknown	Unknown	Unable to agree terms of Section 76 agreement with applicant - specialist legal advice sought
LA04/2024/0626/F Page 53	1 Havelock House Havelock Place, Ormeau, Belfast, BT7 1EB .	Erection of 104no. social rented residential units (comprising a mix of General Social Housing and Category 1 over 55's accommodation) across two detached blocks [ranging between 3 and 5 storeys], landscaping, communal and private amenity space, ancillary cycle and car parking provision, and other associated site works	MAJ	17-Apr-24	13-Nov-24	30	81	18/03/2025	47	33	Unknown	30/11/2025	Holding direction issued by DfI in March 2025 released - Pre-Determination Hearing and reconsideration of application scheduled for November Committee
LA04/2024/0675/F	The Arches Centre 11-13 Bloomfield Avenue / 387-389 Newtownards Road, , Belfast, BT5 5AA	Change of Use of first and second floor to 39 No. apartments; extension to second floor for 6 No. apartments and erection of new third floor for 19 No. apartments (all social housing dwellings, 64 No. in total), and ancillary/associated works. Solar panels on roof (amended plans and description).	MAJ	13-May-24	09-Dec-24	30	77	15/04/2025	48	29	Unknown	07/11/2025	Awaited Section 76 Agreement - Certificate of Title outstanding from applicant for several months. Issue finally resolved, s76 agreement signed and decision to be issued

LA04/2024/0058/F	68 Fortwilliam Park, Belfast BT15 4AS	Demolition of existing 31 no. bed private nursing home and erection of 20 no. sheltered housing units (3 storey building) for the elderly; warden accommodation; communal facilities; landscaping; car parking and site works.	LOC	20-Dec-23	03-Apr-24	15	98	13/05/2025	72	25	31/10/2025	07/11/2025	Outstanding waste management issue finally resolved. Decision to be issued
LA04/2023/4543/F	885 Shore Road, Belfast, BT36 7DH	Proposed new changing pavilion, enhancing grounds entrances including turnstiles, ancillary facilities and upgrade to existing car park. Proposed 3G surfacing to existing grass pitch with flood lighting.	LOC	01-Feb-24	16-May-24	15	92	17/06/2025	71	20	Unknown	Unknown	DAERA NIEA recently provided its consultation response - advising that bat surveys required
LA04/2024/1036/F	Lands to the east of the River Lagan located between Lagan Gateway Phase 1 and Belvoir Park Forest, running adjacent to the west of Belvoir Park Golf Club and approximately 120 metres to the east of Newtownbreda Water Treatment Plant, Galwally Ave, Belfast BT8 7YA.	Lagan Gateway Phase 2 – Proposed greenway connection extending between Lagan Gateway Phase 1 at Annadale Embankment to Belvoir Forest Park. Comprising compacted gravel paths; a new elevated (4-5 meter high) timber boardwalk (approximately 85m long); landscaping works, new cycle stands, bollards, seats and bins; and all associated works	LOC	10-May-24	23-Aug-24	15	78	17/06/2025	57	20	31/10/2025	Unknown	Further information requested from applicant following request from DAERA NIEA

LA04/2024/0267/F	11 Friendly Way, Belfast, BT7 2DU	Change of Use from Dwelling to 6no bed/6person HMO (amended description)	LOC	15-Feb-24	30-May-24	15	90	17/06/2025	69	20	31/10/2025	30/11/2025	June Committee resolved to delegate authority to refuse, decision notice being finalised
LA04/2024/1592/F	Marlborough House at no. 28-32 Victoria Street, Belfast and no. 8 and 10-12 Marlborough Street; 11 Prince's Street and 2-4 Prince's Court, Belfast, BT1 3GG	Residential development comprising the demolition of no. 8 Marlborough Street, partial demolition of existing Marlborough House, and the refurbishment of existing Listed Building (Princes Court) (3 storeys), for the erection of 103 no. apartments (mix of 1-bed, 2-bed and 3 bed units) (8 storeys), with provision of private amenity, and internal and external communal amenity spaces; and associated site and infrastructure works. (amended description)	MAJ	20-Sep-24	18-Apr-25	30	59	17/06/2025	38	20			Permission Granted

LA04/2024/1761/RM	Land forming Plot 9 of the Kings Hall development as approved by LA04/2020/0845/O.	Application for approval of reserved matters application for a medical facility in accordance with outline planning permission LA04/2020/0845/O, seeking approval of layout, scale, appearance and landscaping details	MAJ	15-Oct-24	13-May-25	30	55	17/06/2025	35	20			Permission Granted
<div>Page 58</div> LA04/2025/0535/F	Lands West of Monagh By-Pass South of Upper Springfield Road & 30-34 Upper Springfield Road & West of Aitnamona Crescent & St Theresa's Primary School. North and East of 2-22 Old Brewery Lane, Glanaulin, 137-143a Glen Road & Airfield Heights & St Mary's CBG School Belfast	Variation of conditions 1, 2, ,3, 4 ,5, 11, 14, 17, 18, 19, 36, 37 and 41 of approval LA04/2023/2390/F and LA04/2020/0804/F to facilitate removal of 31 previously approved dwellings and retaining structure along northern boundary of site adjacent to Upper Springfield Road. Retention of existing sloping ground levels and landscaping at this location.	MAJ	27-May-25	23-Dec-25	30	23	17/06/2025	3	20	31/10/2025	30/11/2025	Awaiting final DFI Roads response and conclusion of S77 agreement (amendment to S76 agreement)

LA04/2024/2044/F	Lands at 39 Corporation Street, Belfast, BT1 3BA	Erection of 895 room Purpose Built Managed Student Accommodation (PBMSA) across 9-20 storey building blocks with communal facilities, internal and external communal amenity space including landscaped courtyard and roof terraces and ancillary accommodation. With additional use outside term time (no more than 50% of the rooms) as short-term let accommodation and (no more than 50% of the rooms) accommodation for use by further or higher education institutions	MAJ	05-Dec-24	03-Jul-25	30	48	12/08/2025	35	12			Permission Granted
LA04/2024/1654/F	432 Falls Road, Belfast, BT12 6EN	Change of use from a 7-bedroom dwelling house (C1) to a 7 bed/ 9 person House of Multiple Occupancy (Sui Generis)	LOC	21-Oct-24	03-Feb-25	15	54	12/08/2025	42	12	31/10/2025	30/11/2025	Preparing decision notice for issuing
LA04/2024/1865/O	Land between No 22 Squires View and Nos 57 & 59 Squires Hill Road, Belfast.	3no. detached dwellings part 2 storey part 3 storey (amended plans)	LOC	28-Oct-24	10-Feb-25	15	53	12/08/2025	41	12	31/10/2025	30/11/2025	Late objections received. Planning Service requested additional information from applicant in respect of land instability issue

LA04/2025/0122/F	Lands Between 14 and 16 Lancedean Road, Belfast, BT6 9QP	Demolition of 4 no garages and erection of 2 no. semi-detached dwellings, part 2 storey part 3 storey (amended description) (additional plans)	LOC	28-Jan-25	13-May-25	15	40	12/08/2025	28	12			Permission Refused
LA04/2024/2077/F	Adelaide Business Centre 2-6 Apollo Road, Belfast, BT12 6HP	Proposed change of use from office space (B1) and storage or distribution (B4) to Bowling Alley, Restaurant, Indoor Golf, Children's Soft Play, VR Zone & Amusements, Smoking Area, Car Parking and Associated Site Works. Proposal includes changes to elevations. (Amended Plans Received).	MAJ	29-Jan-25	27-Aug-25	30	40	12/08/2025	27	12	30/11/2025	30/12/2025	Late objection received from neighbouring premises. Officers working through issues. Application will need to be reported back to the Committee for reconsideration
LA04/2025/0311/A	Telegraph Building, 124-144 Royal Avenue, Belfast BT1 1DN	Street Art directly on facade of Donegall Street Elevation.	LOC	18-Apr-25	01-Aug-25	15	29	12/08/2025	16	12			Consent Granted
LA04/2024/1466/F	41 Rosetta Road, Belfast, BT6 0LR	Ground floor extension and alterations to provide 1 No. retail unit. Two storey rear extension. Rear dormer. Change of use of first & second floor level & part of ground floor level to 6 bed / 6 person HMO (amended description and plans).	LOC	30-Aug-24	13-Dec-24	15	62	12/08/2025	49	12			Permission Refused

LA04/2024/0948/F	Derelict lands at and to the rear of no.s 34-36 The Mount, Belfast, BT5 4NA	Redevelopment of listed buildings and lands to the rear for a residential development comprising 20no. townhouses and 6no. apartments with associated landscaping, parking and site works	LOC	03-Jun-24	16-Sep-24	15	74	16/09/2025	67	7	N/A	31/10/2025	Awaiting s76 agreement
LA04/2024/0955/LBC	34-36 The Mount, Belfast, BT5 4NA	Restoration of external features with a new rear projection to no. 34 The Mount and new partitioning walls in both buildings to facilitate use for 6no. apartments	LOC	03-Jun-24	16-Sep-24	15	74	16/09/2025	67	7	N/A	31/10/2025	Awaiting issuing
Page 59 LA04/2025/0607/F	5 Squires Hill Road, Belfast, BT14 8FJ	Amendments to previously approved application(LA04/2023/4 093/F). Proposal includes raising of ridge, fenestration changes to side and juliet balcony to front.	LOC	09-Apr-25	23-Jul-25	15	30	16/09/2025	22	7	31/10/2025	07/11/2025	Awaiting issuing
LA04/2025/0976/LBC	35-39 Royal Avenue, Belfast, BT1 1FD	Alterations to shopfront	LOC	19-Jun-25	02-Oct-25	15	20	16/09/2025	12	7			Consent Granted
LA04/2025/1140/F	35-39 Royal Avenue, Belfast, BT1 1FD	Alterations to shopfront	LOC	08-Jul-25	21-Oct-25	15	17	16/09/2025	10	7			Permission Granted

LA04/2025/0613/F	23 Everton Drive, Belfast, BT6 0LJ	Single storey rear extension with fenestration changes. Creation of new patio areas and garden studio. Attic conversion and the creation of a rear dormer. Partial demolition of existing side and rear elevations. Demolition of existing patio areas and shed. Removal of existing rear roof to facilitate attic conversion.	LOC	15-May-25	28-Aug-25	15	25	14/10/2025	21	3	N/A	07/11/2025	Awaiting issuing
LA04/2022/0809/F	"Lands to the south and west of Woodland Grange to the north of Blacks Gate and to the east of Moor Park Mews Belfast."	Amendments to approved schemes ref. Z/2008/0993/F (erection of 53 No. dwellings) & ref. Z/2013/0120/F (erection of 46 No. dwellings); to reduce overall density from 99 No. dwellings to 94 No. dwellings and associated and ancillary works.	MAJ	21-Apr-22	17-Nov-22	30	185	14/10/2025	181	3	N/A	30/11/2025	Awaiting resolution of issues identified by DfI Roads



Subject:	Consultation on Review of Planning Fees
Date:	11 th November 2025
Reporting Officer:	Kate Bentley, Director of Planning and Building Control
Contact Officer:	Ed Baker, Planning Manager (Development Management)

Restricted Reports	
Is this report restricted?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
If Yes, when will the report become unrestricted?	
After Committee Decision	<input type="checkbox"/>
After Council Decision	<input type="checkbox"/>
Some time in the future	<input type="checkbox"/>
Never	<input type="checkbox"/>

Call-in	
Is the decision eligible for Call-in?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>

1.0	Purpose of Report or Summary of main Issues
1.1	The Department for Infrastructure (DfI) is consulting on its review of planning fees, namely the proposed introduction of fees for the following types of application: <ul style="list-style-type: none"> Non-Material Changes Discharges of Condition
1.2	DfI is also seeking views on whether any other application types, which are currently not charged for, should also attract a fee.
1.3	This report considers the issues and proposes the Council's response to the consultation. It is for notation and comment ahead of consideration by the Strategic Policy and Resources Committee.

2.0	Recommendations																				
2.1	The Committee is asked to note the report ahead of consideration by the Strategic Policy and Resources Committee.																				
3.0	Main report																				
	<u>Background</u>																				
3.1	Most planning applications submitted to the Council attract a planning fee, however, several application types currently do not, even though they can be quite time consuming and costly for the Council to process.																				
3.2	Dfl is proposing to introduce a flat rate planning fee of £115 for the following types of application, for which there is currently no charge: <ul style="list-style-type: none">• Non-Material Changes• Discharges of Condition																				
3.3	In addition, the consultation is asking whether there are any other planning application types which are not currently charged for, but which should attract a fee, including but not limited to the following: <ul style="list-style-type: none">• Tree Preservation Order• Proposal of Application Notice (PAN)• Pre-application discussions																				
3.4	The introduction of fees for applications for Non-Material Changes and Discharges of Condition would be made through amendments to the Planning (Fees) Regulations (Northern Ireland) 2015.																				
3.5	The public consultation opened on 1 st October 2025 and closes on 23 rd December 2025. A copy of the public consultation document is provided at Appendix 1 .																				
	<u>Assessment</u>																				
3.6	Belfast City Council is one of several NI councils that have advocated the introduction of planning fees for Non-Material Change (NMC) and Discharge of Condition (DOC) applications for many years. This is in the context of the not insignificant resources that councils expend on processing such applications each year.																				
3.7	Dfl is proposing to introduce a flat rate fee of £115 for both application types, equivalent to the minimum fee charged for such applications in some UK jurisdictions. Table 1 below shows the number of NMC and DOC applications that the Council has received over the last three years.																				
	<table><tr><th>Application type</th><th>2022/23</th><th>2023/24</th><th>2024/25</th><th>Total</th></tr><tr><td>NMC</td><td>65</td><td>78</td><td>77</td><td>220</td></tr><tr><td>DOC</td><td>239</td><td>235</td><td>245</td><td>719</td></tr><tr><td>Total</td><td>304</td><td>313</td><td>322</td><td>939</td></tr></table>	Application type	2022/23	2023/24	2024/25	Total	NMC	65	78	77	220	DOC	239	235	245	719	Total	304	313	322	939
Application type	2022/23	2023/24	2024/25	Total																	
NMC	65	78	77	220																	
DOC	239	235	245	719																	
Total	304	313	322	939																	
	Table 1: volume of NMC and DOC applications received by Belfast City Council																				

3.8

Table 2 below shows the income that would have been received by the Council over the last three years had the proposed fee of £115 been applied retrospectively. This would have amounted to around £36k per annum. However, this projection is caveated by the fact that the introduction of a fee for Discharge of Condition applications may result in more discharge of condition requests to be grouped under a single application, to save costs. This could result in fewer Discharge of Condition applications and lower overall fee income.

Application type	2022/23	2023/24	2024/25	Total
NMC	£7,475	£8,970	£8,855	£25,300
DOC	£27,485	£27,025	£28,175	£82,685
Total	£34,960	£35,995	£37,030	£107,985

Table 2: Projected fee income if the proposed fee of £115 was retrospectively applied

Non-Material Change applications

3.9

Section 67 of the Planning Act (Northern Ireland) 2011 (“the Act”) permits the Council to approve a “non-material change” to a planning permission to facilitate relatively minor and inconsequential amendments to an approved scheme. This dispenses with the requirement for applicants to submit a whole new planning application, therefore, saving time and costs for both applicants and the council. This provision also permits the imposition of new conditions as well as to remove or alter existing conditions. Where approved, the NMC amends the original planning permission; it does not create a new standalone permission.

3.10

There is no legal definition of a “non-material change”. Guidance is provided by DfI’s [Development Management Practice Note 25: Non-Material Changes](#).

3.11

As shown in Table 1 above, the Council receives around 70 applications for Non-Material Changes each year. The complexity of the amendments proposed by NMC applications can vary considerably and can be time consuming for the Council to deal with, especially where the proposals relate to largescale Local and Major applications (depending on the scale and nature of the proposed changes). The Council is also responsible for processing applications for Non-Material Changes to regionally significant permissions granted by DfI. Therefore, the principle of a charge for NMC applications is welcomed.

3.12

However, officers have the following concerns about the proposal to introduce a flat rate £115 fee for all NMC applications:

- Firstly, it is considered unreasonable and disproportionate that the fee to amend more complex applications, such as permissions for Major and large-scale Local proposals, is the same as the fee for amending a householder or minor applications.
- Secondly, planning fees in NI should work towards genuine cost recovery and a flat rate fee of £115 would not cover the Council’s costs in processing NMC applications. DfI acknowledges that further work should be undertaken by councils and DfI around cost recovery to inform more appropriate fees across the board.

3.13

Consideration should be given to separate rates for NMC applications for householder, Local and Major planning permissions, with an increasing scale of charges respectively, Alternatively, consideration could be given to the NMC fee being a percentage of the original application fee.

	<u>Discharge of Condition applications</u>
3.14	<p>Section 52 of the Act enables a council to impose conditions on a planning permission. Guidance on the use of condition is provided by DfI's Development Management Practice Note 20: Use of Planning Conditions. The Council may only impose a condition where it meets all of the six tests, namely that the condition is:</p> <ol style="list-style-type: none"> 1. necessary; 2. related to planning; 3. relevant to the development permitted; 4. enforceable; 5. precise; and 6. reasonable in all other respects.
3.15	<p>Some conditions require submission and approval of further information to the Council before a specified trigger point being met, typically prior to commencement of development or occupation. This process is referred to as the “discharge of conditions”.</p>
3.16	<p>Examples include the submission and approval of the following information:</p> <ul style="list-style-type: none"> • details of external materials (e.g. brick, stonework, render and roof tiles) • landscaping details (e.g. tree planting and boundary treatment) • a final remediation strategy to deal with contaminated land • details of the precise window specification to ensure appropriate sound-proofing if the development is next to a busy road or other noise source.
3.17	<p>As a general principle, the Council's Planning Service seeks to avoid the use of DOC conditions where possible by front-loading the submission of the information as part of the original application. This saves time and costs later down the line; however, this approach is not always possible as often the information will only be available – or the developer is only willing to provide it – post-decision once the planning permission is in place.</p>
3.18	<p>Like NMCs, DfI is proposing to introduce a flat-rate £115 fee for DOC applications.</p>
3.19	<p>Officers have similar concerns to the proposed flat-rate fee of £115 for NMC applications:</p> <ul style="list-style-type: none"> • the charge for the DOC application is the same, irrespective of the scale and complexity of the development and nature of the conditions. For example, a householder would pay the same fee for approval of external materials for a domestic extension as a developer would pay for the discharge of a series of complex conditions (such as land contamination, archaeology and drainage) associated with a Major development. This is considered unfair, particular as the proposed fee would represent a third (33%) of the original planning fee for a householder application. In comparison, for a largescale Major application, the fee might represent only 0.1% of the cost of the original application. • in a similar vein, it is proposed that the same fee applies irrespective of the number of conditions that require to be discharged; therefore, a DOC application to discharge a single condition on a householder permission would attract the same fee as a DOC application to discharge a dozen conditions relating to a complex Major permission.

	<ul style="list-style-type: none"> • in practice, the Council deals with very few DOC applications for Householder permissions and it would be more appropriate to waive the fee for such applications, with a higher charge rate proposed for discharging conditions associated with more complex proposals. • the flat rate fee of £115 would not cover the Council's actual costs in processing such applications and would not represent anywhere near cost recovery. • the DOC process often requires engagement with consultations for their expert technical advice, such as the Council's Environmental Health service or Government Departments such as DfI Roads, DfI Rivers, DfC HED and DAERA NIEA. This consultation process can be very involved and time consuming for consultees and the proposal does not address income for consultees to cover their staff costs in assessing the information and advising the Council on its suitability. Officers are of the clear view that a service should only be charged where a responsive and quality service is provided. The current fee proposal does not address consultee resources and would not speed up the DOC process. Informal feedback to the Council from agents is that applicants would generally be prepared to pay a higher fee if it would guarantee a quicker decision.
3.20	Similar to the NMC fee proposals, further work should be undertaken by councils and DfI around cost recovery to inform more appropriate fees for DOC applications.
3.21	Officers recommend that there should be no charge for DOC applications relating to householder permissions. A fee higher than £115 should be introduced for DOC applications for Local permissions (excluding householders) with a higher fee for Major applications. A fee should be introduced per condition rather than a flat rate fee irrespective of the number of conditions. Correct adherence to the six tests for conditions (see par. 3.14) would ensure that the system is not abused with conditions unnecessarily added.
	<u>Other application types</u>
3.22	<p>In addition, DfI is asking for views on whether fees should be introduced for the following application types, which are currently not charged.</p> <ul style="list-style-type: none"> • Tree Preservation Orders (TPOs) – the Council receives about 130 applications for works to trees each year. Officers are concerned that the introduction of a fee could deter tree owners from making such applications or to not undertake necessary tree maintenance works because of the cost of making an application. Therefore, it is recommended that there continues to be no fee payable for an application for works to a protected tree (i.e. a tree subject to a TPO or within a Conservation Area). • Proposal of Application Notices (PANs) – legislation requires applicants for Major development to submit a PAN to the Council that sets out the applicant's proposals for Pre-Application Community Consultation. Councils have 21 days to assess the proposals, advising of any necessary further steps. There are both administrative and professional costs associated with the assessment of PAN applications and an appropriate flat-rate fee could be introduced to recover typical costs. • Pre-Application Discussions (PADs) – the Council already charges for PADs (as a discretionary service) and has been doing so since 2017. It similarly charges for Planning Performance Agreements (PPAs) – a project management tool used to support the efficient and timely handling of more complex planning applications. BCC would not want to see standardisation of such costs across all councils as the resources attributed to such discussions and how each PAD is treated will be at the discretion of each Planning Authority.

3.23	<p>The DfI consultation also asks if there are any other application types that currently do not attract a planning fee for which councils recommend that charging is introduced. Officers advise that fees could also be introduced for the following application types:</p> <ul style="list-style-type: none"> • EIA screening – where an applicant asks the Council to give a formal “screening” opinion as to whether a proposal is “Environmental Impact Assessment” (EIA) development. Applications for EIA development are required to be supported by an Environmental Statement and normally only relate to very large-scale and complex development proposals. The EIA screening process invariably involves engagement with internal and external consultees and can be a complex and time-consuming technical process to complete. • EIA scoping – where it is accepted that a proposal is “EIA development” and the applicant asks the Council to give a formal “scoping” opinion as to the required content of the Environmental Statement that will accompany the planning application. Similarly, the EIA scoping process invariably involves engagement with internal and external consultees and can be a complex process. • Discharge of planning obligations contained in a Section 76 planning agreement (MDPA) – there is currently no charge for the Council assessing information required by a Section 76 planning application, such as the submission and approval of a Travel Plan, open space management plan or Employability and Skills Plan. It is similar to the process of discharging conditions and should be charged.
3.24	<p>Applications for Listed Building Consent and Conservation Area Consent (DCA) are historically not charged for in NI, England and Wales. Like applications for works to trees, it is assumed that the reason is not to deter applicants from making such important applications. Nevertheless, the processing of these applications does have costs implications for the Council. Further targeted consultation should take place with a range of stakeholders should DfI consider introducing planning fees for Listed Building Consent and Conservation Area Consent applications.</p>
	<p><u>Other matters</u></p>
3.25	<p>It is proposed that councils should be able, if they so wish, to set their own fees for Non-Material Change and Discharge of Condition applications. This recognises that the costs associated with the processing of such applications will vary from council to council, particularly for a large built-up urban area such as Belfast where issues such as land contamination are prevalent.</p>
3.26	<p>The Council would express its disappointment that DfI did not carry out any pre-consultation with councils ahead of publication of the consultation. As can be seen from this report, whilst the principle of charging for NMC and DOC applications is accepted, there are a range of concerns about the specific proposals and factors that will need to be considered. These could have been addressed, and more developed proposals consulted on, had there been prior engagement with councils and wider development industry (planning agents, architects and developers).</p>
3.27	<p>For the reasons set out in this report, it is considered that the proposals to charge for NMC and DOC applications should be developed further before charging is introduced.</p>

4.0	Financial & Resource Implications
4.1	The NI Audit Office and Public Accounts Committee reports (2022) recognise the financial unsustainability of the NI planning system. Planning Authority costs typically outstrip planning income through planning fees by a significant margin. The introduction of charging for Non-Material Change and Discharge of Condition applications is welcomed in principle, however, the proposals do not represent actual cost recovery. Further work is required by councils and DfI, with input from consultees and the development industry, to refine the proposed charging model for these and all other application types.
5.0	Equality or Good Relations Implications / Rural Needs Assessment
5.1	No adverse impacts have been identified.
6.0	Appendices – Documents Attached
	Appendix 1 – DfI public consultation document

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Infrastructure

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PUBLIC CONSULTATION

REVIEW OF PLANNING FEES

Date: October 2025



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Responding to this consultation document

How to Respond

The Department for Infrastructure would like to invite views from the public and stakeholders on potential changes to The Planning (Fees) Regulations (Northern Ireland) 2015 as set out in this document.

Comments should reflect the structure of the document as far as possible with references to question numbers and paragraph numbers where relevant.

Responses can be submitted to the Department no later than 23 December 2025 in one of the following ways:

1. Where possible online via Citizen Space:

<https://consultations2.nidirect.gov.uk/dfi-1/public-consultation-review-of-planning-fees>

2. By e-mail to:

Legislation.planning@infrastructure-ni.gov.uk

3. By post to:

Public Consultation
Review of The Planning (Fees) Regulations (NI) 2015
Regional Planning Governance and Legislation
3rd Floor, James House
2-4 Cromac Avenue
The Gasworks
Belfast
BT7 2JA

Copies in other languages and formats, (including Braille, large print etc.), can be made available on request. If it would assist you to access this document

in an alternative format or language other than English, please contact us using the e-mail or postal address below or by calling 0300 200 7830.

If you have any comments or complaints about the consultation process itself (rather than the content of this document), these should also be directed to the postal or e-mail addresses above.

Freedom of Information Act 2000 -

Confidentiality of Responses

The Department may publish a summary of responses following the closing date for receipt of comments. Your response, and all other responses to this publication, may be disclosed on request and/or made available on the DfI website (redacted). The Department can only refuse to disclose information in exceptional circumstances. Before you submit your response, please read the paragraphs below on the confidentiality of responses as this will give you guidance on the legal position about any information given by you in response to this publication.

The Freedom of Information Act 2000 (FOIA) and Environmental Information Regulations 2004 (EIR) give the public a right of access to any information held by a public authority, namely, the Department in this case. This right of access to information includes information provided in response to a consultation. The Department cannot automatically consider as confidential information supplied to it in response to a consultation. However, it does have the responsibility to decide whether any information provided by you in response to this publication, including information about your identity, should be made public or treated as confidential. The Lord Chancellor's Code of Practice on the Freedom of Information Act provides that:

- The Department should only accept information from third parties in confidence if it is necessary to obtain that information in connection with the exercise of any of the Department's functions and it would not otherwise be provided.
- The Department should not agree to hold information received from third parties 'in confidence' which is not confidential in nature.

- Acceptance by the Department of confidentiality provisions must be for good reasons, capable of being justified to the Information Commissioner.

The information you provide in your response, excluding personal information, may be published, or disclosed in accordance with FOIA or EIR. Any personal information you provide will be handled in accordance with the UK-GDPR and will not be published. If you want the non-personal information that you provide to be treated as confidential, please tell us why, but be aware that, under the FOIA or EIR, we cannot guarantee confidentiality.

For information regarding your personal data, please refer to the DfI Privacy Notice at www.infrastructure-ni.gov.uk/dfi-privacy.

For further details on confidentiality, the FOIA and the EIR please refer to www.ico.org.uk.

Impact Assessments

Government bodies are required to screen the impact of new policies and legislation against a wide range of criteria, including equality and human rights.

Equality Impact Assessment Screenings and an Initial Preliminary Regulatory Impact Assessment have been undertaken and are available to view or download from the Citizen Space web link or the Department's website at the link above.

The Department believes that there would be no differential impact in rural areas or on rural communities. It also considers that the proposals laid out in this document are fully compliant with the Human Rights Act 1998.

The Department welcomes views and comments on whether the conclusions contained in the above assessments are correct.

Introduction

Purpose of the consultation

- 1.1 This consultation invites views from the public and stakeholders on potential changes to The Planning (Fees) Regulations (Northern Ireland) 2015 (the Fees Regulations). These potential changes focus on the introduction of set fees for non-material changes and discharge of conditions planning applications.
- 1.2 At the time of transfer of the planning functions to local government in April 2015, fees for application types such as non-material changes and discharge of conditions were not introduced as the Department at that time took the decision that the new two-tier planning system would need sufficient time to bed in before any new fees should be introduced.
- 1.3 This resulted in councils processing applications for non-material changes and discharge of conditions without any associated fee being payable.
- 1.4 In the 2022 Review of the Implementation of the Planning Act (NI) 2011 (RIPA) report, the Department considered there is merit in reviewing planning fee categories and the fees themselves to establish if they remain fit for purpose and cover the costs of processing applications in line with the requirements of Managing Public Money (NI). Part of this review is to consider the introduction of new fee categories for applications for non-material changes and discharge conditions.

Longer Term Cost Recovery

- 2.1 As part of the second phase of the planning improvement programme the Department, in collaboration with local government, is scoping the challenges and opportunities around increasing levels of cost recovery to support the longer-term financial sustainability of the planning system. This consultation aims to further gather evidence to help inform future proposals.

Question 1: From the list below, please select the category of respondent most appropriate to you:

Business and development interests ☐

Resident/Community groups/Voluntary organisations ☐

Environment and heritage groups ☐

Political party/Elected representative ☐

Council ☐

Statutory consultee ☐

Applicant ☐

Architect/Planning consultancy/Agent ☐

Other ☐

Please provide your organisation's name:

Non-Material Changes

- 3.1 The Planning Act (NI) 2011 (the 2011 Act) introduced a mechanism by which a council have a formal method of dealing with small changes ('non-material') to approved schemes (Section 67 and Regulation 7 of the Planning (General Development Procedure) Order (Northern Ireland) 2015 (as amended) (the GDPO)). The introduction of the non-material change procedure under the 2011 Act replaced the otherwise informal process previously used to respond to requests for minor amendments.
- 3.2 An application for a non-material change removes the need for an entirely new planning application to be submitted where only a very small change is sought which does not materially change the nature of the approved development. Such an application, if approved, would form an amendment to the original planning permission and would be subject to the conditions and time limit of the original permission. It would not result in a new planning permission and the existing permission will continue to exist and should be read in conjunction with the non-material change decision letter.
- 3.3 There is no statutory definition of a non-material change. This is because it depends on a range of factors including the context of the overall scheme, the amendments being sought to the original permission and the site-specific circumstances, all of which can vary from one application to another.
- 3.4 Discretion rests with a council as to whether the amendments constitute a non-material change to a planning permission within the scope of the original permission.

- 3.5 Councils in the North have been processing applications for non-material changes but have not been receiving any fee for this work. This has now become a useful mechanism in the planning process to manage minor changes to approved development proposals and in the published official Northern Ireland planning statistics April 2023 – March 2024 there have been 451 non-material change applications.
- 3.6 It has been common practice in the other jurisdictions to include a fee for non-material changes within their specific fee's regulations. This has been in place in Scotland, England and Wales for a significant number of years. Fees in other UK jurisdictions range from £115 to £298, with a reduced fee for householder applications in both England and Wales.
- 3.7 The current fee in England and Scotland of £298 and £238 would be considered a high level to introduce a first-time fee for a non-material change, which is by nature an application where only a very small change is sought, which does not materially change the nature of the approved development.

Proposal

In the public interest of recovering costs in the planning system the Department proposes to amend the current Planning Fees Regulations by introducing a set fee for non-material changes applications.

The Department is proposing to introduce a set fee of £115 for non-material changes applications.

The proposal is to introduce one set fee for non-material changes which will apply to each application for non-material changes and not for each individual change within that request. This will allow an applicant to apply for a number

of non-material changes in one request and only one fee would apply. This aligns with the position in the other jurisdictions.

Question 2: Do you agree with the above proposal to introduce a set fee for non-material changes applications?

Please respond: Yes / No

Please provide additional information in support of your answer:

Question 3: Do you agree with the above proposal to set the fee level at £115 for non-material changes applications?

Please respond: Yes / No

Please provide additional information in support of your answer:

Discharge Of Conditions

- 4.1 Article 12 of the GDPO allows for an application to be made to the council or, as the case maybe, the Department for any consent, agreement or approval required by a condition imposed on a grant of planning permission (other than an application for approval of reserved matters). The relevant planning authority shall give notice to the applicant of its decision on the application within a period of 8 weeks from the date when the application was received by the authority or such a longer period as may be agreed by the applicant and the council or, as the case may be, the Department in writing.
- 4.2 Councils in the North have been processing applications for discharge of conditions but have not been receiving any fee for this work. In the published official Northern Ireland planning statistics April 2023 – March 2024 there have been 1098 discharge of conditions applications.
- 4.3 It has been common practice in the other jurisdictions to include a fee for discharge of conditions within their specific fee regulations. This has been in place in Scotland, England and Wales for a number of years. Fees in the other jurisdictions range from £115 to £298, with a reduced fee for householder applications in both England and Wales.
- 4.4 No fee has currently been prescribed under the Fees Regulations for applications associated with the discharge of planning conditions.
- 4.5 Having considered the position in the other jurisdictions the Department will consult on introducing a fee of £115 for discharge of conditions. This is broadly in line with the fee in Scotland and Wales and will align with the proposal for non-material changes.

Proposal

In the public interest of recovering costs in the planning system the Department proposes to amend the current Planning Fees Regulations by introducing a set fee for discharge of conditions applications.

The Department is proposing to introduce a set fee of £115 for discharge of conditions applications.

A single fee of £115 will apply to each request made to a council or, as the case may be, the Department, for written confirmation of compliance with a condition or conditions attached to a grant of planning permission and will not be based on the number of conditions within each request. This aligns with the position in Scotland, England and Wales.

Question 4: Do you agree with the above proposal to introduce a set fee for discharge of conditions applications?

Please respond: Yes / No

Please provide additional information in support of your answer:

Question 5: Do you agree with the above proposal to set the fee level at £115 for discharge of conditions applications?

Please respond: Yes / No

Please provide additional information in support of your answer:

Question 6: Are there any other planning application types or planning services which are not currently charged for, but which in your view should attract a fee?

Tree Preservation Order ☐

Planning Advice Notice ☐

Pre-Application Discussion ☐

Other ☐

Please provide additional information in support of your answer:

Question 7: Are there any other planning application types or planning services for which the current fee level or structure is inappropriate / insufficient?

Please respond: Yes / No

Please provide evidence in support of your answer:

Question 8: Do you agree with proposals for planning fees to continue to be adjusted annually in line with inflation?

Please respond: Yes / No

Please provide evidence in support of your answer:

Question 9: Do you agree that the Bank of England CPI is the most appropriate index measure to use?

Please respond: Yes / No

Please provide evidence in support of your answer:



Subject:	Delegation of Local applications with NI Water objections
Date:	11 th November 2025
Reporting Officer(s):	Kate Bentley, Director of Planning and Building Control
Contact Officer(s):	Ed Baker, Planning Manager (Development Management) Ciara Reville, Principal Planning Officer

Restricted Reports	
Is this report restricted?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
If Yes, when will the report become unrestricted?	
After Committee Decision	<input type="checkbox"/>
After Council Decision	<input type="checkbox"/>
Some time in the future	<input type="checkbox"/>
Never	<input type="checkbox"/>

Call-in	
Is the decision eligible for Call-in?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>

1.0	Purpose of Report or Summary of Main Issues
1.1	The Planning Committee will recall that at its meetings on 27 June 2022, 15 November 2022 14 February 2023, 14 March 2023 18 April 2023, 15 August 2023 17 October 2023, 12 December 2023, 12 February 2024 19 March 2024, 24 th May 2024, 27 th June 2024, 13 th August 2024 15 th October 2024 21 st January 2025 18 th March 2025 15 th April 2025 13 th May 2025, 17 th June 2025, 12 th August 2025, and 14 th October 2025, it agreed to delegate authority to the Director of Planning and Building Control the determination of a number of Local applications to which NI Water had objected.
1.2	The Council continues to receive objections from NIW to some Local applications. The purpose of this report is to seek the Committee's agreement to delegate to officers those Local planning applications to which NI Water has objected as set out at Appendix 1 .
1.3	For the avoidance of doubt, it is only those applications which would have been delegated to officers under the Scheme of Delegation were it not for the objection from NI Water which are proposed to be delegated. Therefore, any of the Local applications listed at Appendix 1

	which it may later transpire require to be referred to the Committee for other reason/s (other than the NI Water objection) will be reported to the Committee to determine. Individual Members can also still request that the applications at Appendix 1 are referred to the Committee under paragraph 3.8.1 of the Scheme of Delegation.
2.0	Recommendation
2.1	That the Committee agrees to delegate to the Director of Planning and Building Control those Local planning applications to which NI Water has objected set out at Appendix 1 .
3.0	Main Report
	<u>Background</u>
3.1	The Committee will be aware from the Committee Workshop on 18 November 2021 that NI Water has objected to a significant number of Local applications on grounds of insufficient waste-water infrastructure capacity.
3.2	As advised at the Committee Workshop, officers have been engaging with NI Water to try to resolve those objections. Whilst progress is being made, and NI Water is actively considering a threshold for the scale and nature of development above which they would like to be consulted on future planning application, the objections to these Local applications remain.
	<u>Scheme of Delegation</u>
3.3	Members will be aware that the Council operates a Scheme of Delegation for Planning which identifies which matters are to be determined by the Committee and which are delegated to officers.
3.4	Paragraph 3.8.5 (f) of the Scheme of Delegation (January 2020) states that planning applications are not delegated where <i>'There is an objection from a statutory consultee and the recommendation of the Planning Officer is to approve.'</i> This means that those applications are required to be determined by the Planning Committee.
3.5	The Planning (General Permitted Development) Order (Northern Ireland) 2016 identifies NI Water as a statutory consultee <i>'...where a development proposal is likely to significantly impact upon the availability of suitable water and sewerage infrastructure to service development proposals.'</i>
3.6	This means that where NI Water has lodged an objection to a Local application and the officer recommendation is to approve, the application cannot be delegated and must be determined by the Committee.
3.7	Therefore, at those previous meetings, the Committee agreed to delegate Local applications, as appended to the respective reports, with NI Water objections to the Director of Planning and Building Control. This has avoided the potential need to report to date 277 applications individually to the Committee. To have reported all those applications to the Committee would have been logistically extremely difficult, costly and would have resulted in further delays for applicants.
	<u>Nature of NI Water objections</u>
3.8	NI Water has lodged objections to Local applications for one or both of the following reasons. <ul style="list-style-type: none"> a) There is insufficient capacity at the local Waste Water Treatment Plant to support the proposed development, and/or

	<p>b) There is insufficient network capacity within existing Combined Storm Overflows to support the development, and/ or</p> <p>c) There is insufficient network capacity within the foul sewerage system and a Wastewater Impact Assessment is required.</p>
3.9	In broad terms, NI Water is concerned that a lack of infrastructure capacity would give rise to risk of environmental harm including pollution, flooding and adverse impact on existing property. In some cases, NI Water is concerned that the application site may be hydrologically linked to Belfast Lough and may harm its water quality.
3.10	However, despite requests, NI Water has to date not provided robust evidence to support individual objections including demonstration of actual specific impacts resulting from individual proposals that stems from their broad concerns outlined above.
3.11	Importantly, allowance must be made for existing significant committed development across the city including extant planning permissions. It is highly unlikely that all such development, which includes unimplemented permissions for over 20,000 houses and significant levels of commercial floor space across the city, will come forward at once, if at all. In practical terms it would be unreasonable for the Council to withhold planning permission given the fall-back of the need to connect those developments to existing waste water infrastructure.
3.12	In the case of Waste Water Treatment capacity, NI Water advises that there was an increased capacity from July 2023, albeit this will not be sufficient to address long term waste water treatment plant infrastructure requirements.
3.13	The Council must be mindful that were it to refuse planning permission based on NI Water's concerns, it would need to provide robust evidence to the Planning Appeals Commission in the event that the applicant appeals the decision. In the absence of robust evidence, it would be unreasonable to refuse planning permission. NIW have in recent months added further detail to their responses but sufficient robust evidence has not been provided.
	<u>Habitats Regulations Assessment</u>
3.14	Officers have met with Shared Environmental Services (SES). Belfast City Council is the Competent Authority under the Conservation (Natural Habitats, etc.) Regulations (Northern Ireland) 1995 (as amended) for undertaking an Appropriate Assessment where a proposal is likely to have a significant environmental effect on Belfast Lough, an environmentally protected Special Protection Area (SPA), RAMSAR and Special Area of Conservation (SAC). Water quality of the lough is a key consideration. The Habitats Regulations are framed in such a way that it is not only the impacts of individual development proposals that need to be considered, but also "in combination" impacts with other development.
3.15	Whilst a precautionary approach applies to Habitats Regulations Assessment (HRA), SES confirms that the onus is on NIW to provide evidence of likely actual impacts, rather than hypothetical impacts. As Competent Authority, the Council may take its own objective view on whether a proposal is likely to have a "significant effect" on water quality of the Lough. However, having regard to the precautionary approach, where there is clear intensification, the Council will consult SES and ask them to undertake a HRA Appropriate Assessment Screening to ascertain whether there would be a likely significant impact. This would also trigger statutory consultation with DAERA NI Environment Agency. The Planning Service will consult SES and DAERA on a case-by-case basis as required.

	<u>Local applications for which delegated authority is sought to determine</u>
3.16	The further Local applications to which NI Water has objected and which delegated authority is sought to determine are listed at Appendix 1 .
3.17	It should be noted that only those applications which would have been delegated to officers under the Scheme of Delegation were it not for the objection from NI Water are proposed to be delegated. Therefore, any of the Local applications listed at Appendix 1 which it transpires need to be referred to the Committee for other reason/s under the Scheme of Delegation will be reported to the Committee to determine. Individual Members can also still request that the applications at Appendix 1 are referred to the Committee under paragraph 3.8.1 of the Scheme of Delegation.
4.0	Financial & Resource Implications
4.1	The cost, time and resources involved in individually reporting all Local applications to which NI Water has objected to the Planning Committee would be considerable. It would also require several additional sittings of the Committee. The recommended approach set out in this report is considered to be a much more efficient use of resources.
5.0	Equality or Good Relations Implications / Rural Needs Assessment
5.1	No adverse impacts identified.
6.0	Appendices – Documents Attached
	Appendix 1 – List of Local applications which are proposed to be delegated to officers to determine.

Appendix 1 – Local applications with NIW objections (November 2025)

	DEA	REFERENCE	DATE RECEIVED	PROPOSAL	ADDRESS
1	Castle	LA04/2025/1164/F	09/07/2025	Proposed change of use with associated external alterations and extensions to provide a 52-bed hotel with bar and restaurant facilities. The development includes extensions and reconfiguration of upper floor levels to facilitate change of use from offices to hotel accommodation and new ground floor frontage to Donegall Street and Warehouse Lane, and all other associated works.	11-21 Donegall Street, Belfast, BT1 2FF
2	Oldpark	LA04/2023/4307/O	02/11/2023	Proposed 4 storey building for use as medical/dental surgery (Class D1) and associated site works	62 Clifton Street, Belfast, BT13 1AB
3	Black Mountain	LA04/2025/1065/F	13/06/2025	Single storey double modular unit to accommodate double classroom and associated facilities. Ancillary site works to include creation of hard play areas, fencing and creation of car parking area. (Amended description)	Coláiste Feirste 7 Páirc Radharc na bhFeá, An Cheathrú Ghaeltachta, Belfast, BT12 7PY
4	Court	LA04/2025/1144/F	19/08/2025	Change of use from 4 bed dwelling to 5 bed / 5 person HMO	53 Springfield Road, Belfast, BT12 7AD

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ADDENDUM REPORT 2	
Committee Date: Tuesday 11 th November 2025	
Application ID: LA04/2024/0626/F	
Proposal: Erection of 104no. social rented residential units (comprising a mix of General Social Housing and Category 1 over 55's accommodation) across two detached blocks [ranging between 3 and 5 storeys], landscaping, communal and private amenity space, ancillary cycle and car parking provision, and other associated site works	Location: 1 Havelock House Havelock Place, Ormeau, Belfast, BT7 1EB
Referral Route: Application for Major development	
Recommendation: Approval subject to conditions and Section 76 planning agreement	
Applicant Name and Address: Genova North West Limited The Factory 184 Newry Road Banbridge BT32 3NB	Agent Name and Address: TSA Planning Ltd 20 May Street Belfast BT1 4NL
Date Valid: 17 th April 2024	
Target Date: 13 th November 2024	
Contact Officer: Ed Baker, Planning Manager (Development Management)	
Background: <ol style="list-style-type: none"> 1. This report should be read in conjunction with Addendum Report 1 to the 18th March 2025 Committee meeting and the original report to the 10th December 2024 Committee meeting; both appended. 2. This application was first approved by the Committee at its 10th December 2024 meeting. The Committee resolved: <i>'That the application is approved on the basis that all 104 residential units be provided as social rented housing (100%) and that this shall be secured by the Section 76 planning agreement.'</i> <i>That the Committee grant planning permission, subject to conditions and a Section 76 planning agreement and delegates authority to the Director of Planning and Building Control to finalise the wording of the conditions and Section 76 planning agreement and deal with any other matters that arise, provided that they are not substantive.'</i> 3. Following receipt of a Pre-Action Protocol letter by solicitors acting on behalf of a local resident on 10th February 2025, and following advice from the council's Legal Services, the application was brought back to the Committee for procedural reasons on 18th March 2025. The reasons for this are detailed in full in Addendum Report 1 to 18th March 2025 Committee meeting, appended. 	

4. The application was again approved by the Committee at its 18th March 2025 meeting. The Committee resolved:

'The Committee affirmed its decision of 10th December 2024, to approve the application, subject to conditions and on the basis that all 104 residential units shall be provided as social rented housing (100%) and that this shall be secured by the Section 76 planning agreement.'

The Committee delegated authority to the Director of Planning and Building Control to finalise the wording of the conditions and Section 76 planning agreement and deal with any other matters that might arise, provided that they were not substantive.'

5. Following a request from the Department for Infrastructure (DfI) on 20th March 2025 to clarify whether the Council intended to notify it of the application under the Planning (Notification of Applications) Direction 2017, the Council confirmed on 21st March 2025 that it did not consider that the application falls within any of the descriptions of development listed in the Schedule to the Direction. It therefore did not intend to notify the application to the Department.

DfI Holding Direction:

6. On 25th March 2025, DfI formally notified the council that notwithstanding the above, under the terms of Article 17 of The Planning (General Development Procedure) Order (Northern Ireland) 2015, it had issued a Holding Direction, which meant that the Council may not grant planning permission in relation to the application until further advised in writing by DfI. It confirmed that the reasons for issuing the Holding Direction were to allow it time to consider whether the proposal raises issues that warrant referral of the application to DfI for further consideration and determination.
7. The Council wrote to DfI to note its concerns about the rationale and basis upon which the Direction had been issued; and subsequently sought updates and indication of timescales for DfI's consideration of the matter on 28th March 2025, 15th April 2025 and 01st May 2025; however, there was no formal resolution.
8. On 20th May 2025, DfI requested additional information to assist its consideration of the application, which the Council provided on 23rd May 2025. The Council continued to periodically seek updates from DfI on the process.
9. DfI finally confirmed on 03rd October 2025 that it had concluded that the application did not warrant the use of the Department's 'call-in' power under Section 29 of the Planning Act (Northern Ireland) 2011. The Holding Direction was released; the application would not be referred to it for determination, and the Council could continue to process the application accordingly. A copy of DfI's letter of 3rd October 2025 is provided at **Appendix 1**.

Pre-determination Hearing:

10. Following return of the application to the Council for a decision, Regulation 7(1) of the Planning (Development Management) Regulations (Northern Ireland) 2015 requires the Council to hold a Pre-Determination Hearing to give the applicant and interested parties the opportunity to appear before and be heard by a committee of the Council. Formal invitations to the Pre-Determination Hearing have been sent to the applicant and consultees and third parties who have made representations on the application.
11. The Pre-Determination Hearing will be held prior to the main Committee meeting.

Further representations received:

12. Three letters of representation were received in response to the written invitations to the Pre-Determination Hearing, each noting that they still wish to record their opposition to the proposals, and that a representative from Donegall Pass Residents Association shall address the Pre-determination Hearing to articulate their views and opposition to the planning application.
13. All concerns and objections received through the application process have been considered and assessed in both Addendum Report 1 to the 18th March 2025 Committee meeting, and the original report to 10th December 2024 Committee meeting, both appended.

Other correspondence received:

14. A representative of Donegall Pass Residents Association contacted the council on 23rd September 2025, seeking clarity on any further developments regarding Dfl's position, noting that solicitors had notified the council of their intention to issue a proposed claim for Judicial Review of the 18th of March 2025 Committee decision.

Further Pre-Action Protocol Letter:

15. On 09th April 2025, the Council received further Pre-Action Protocol correspondence from solicitors acting on behalf of a local resident. The correspondence set out concerns regarding the Council's application of Policies HOU5 and HOU7 of the Belfast Local Development Plan: Plan Strategy 2035. Officers are satisfied that the issues raised have been considered, including through the assessment contained in Addendum Report 1 and original Committee report, appended.

Recommendation:

16. Having regard to the Development Plan and relevant material considerations, it is recommended that planning permission is granted subject to conditions and a Section 76 planning agreement, as set out in Addendum Report 1, appended.
17. Delegated authority is sought for the Director of Planning and Building Control to finalise the wording of the conditions and Section 76 planning agreement, and to deal with any other issues that arise, provided that they are not substantive.

ADDENDUM REPORT 1	
Committee Date: 18 th March 2025	
Application ID: LA04/2024/0626/F	
Proposal: Erection of 104no. social rented residential units (comprising a mix of General Social Housing and Category 1 over 55's accommodation) across two detached blocks [ranging between 3 and 5 storeys], landscaping, communal and private amenity space, ancillary cycle and car parking provision, and other associated site works	Location: 1 Havelock House Havelock Place, Ormeau, Belfast, BT7 1EB
Referral Route: Application for Major development	
Recommendation: Approval subject to conditions and Section 76 planning agreement	
Applicant Name and Address: Genova North West Limited The Factory 184 Newry Road Banbridge BT32 3NB	Agent Name and Address: TSA Planning Ltd 20 May Street Belfast BT1 4NL
Date Valid: 17 th April 2024	
Target Date: 13 th November 2024	
Contact Officer: Ed Baker, Planning Manager (Development Management)	
Background: <ol style="list-style-type: none"> This application was approved by the Committee at its 10th December 2024 meeting. The Committee resolved: <i>'That the application is approved on the basis that all 104 residential units be provided as social rented housing (100%) and that this shall be secured by the Section 76 planning agreement.'</i> <i>That the Committee grant planning permission, subject to conditions and a Section 76 planning agreement and delegates authority to the Director of Planning and Building Control to finalise the wording of the conditions and Section 76 planning agreement and deal with any other matters that arise, provided that they are not substantive.'</i> The Section 76 planning agreement is currently being prepared and has yet to be completed. On 10th February 2025, a Pre-Action Protocol letter was issued to the Council by solicitors acting on behalf of a local resident. The letter sets out a range of concerns relating to the adequacy of consultation on the application, that local residents' objections were not adequately reported to the Committee, the Council's interpretation of planning policy and procedural matters relating to its handling of the application. 	

4. Following advice from Legal Services, the application is being reported back to the Committee for procedural reasons. Firstly, in view of Donegall Pass Residents Association's letter of 25th November 2024 in which it refers to its previous request for a meeting with the Planning Service and Planning Committee. Officers advise that the Residents Association should be afforded opportunity to appear before and be heard by the Committee. Secondly, whilst the original Committee report was published within the prescribed period, due to technical issues, it was published on a different part of the website and may not have been as easily accessible. Thirdly, due to the amended description which states that all 104 residential units are to be provided as social housing, in line with the Committee's resolution at its December meeting. In addition, NIHE has provided a further consultation response, dated 10th March 2025.
5. This addendum report should be read in conjunction with the original report to the 10th December 2024 Committee meeting, appended.

Further representations from NIHE

Representation received on 10th December 2024:

6. NIHE provided an additional representation on 10th December 2024, the day of the previous Committee and after the original Committee report had been published. It was verbally reported to the Committee as part of the officer presentation.
7. The representation is summarised below:
 - NIHE reaffirms full support for 84 units. Mixed tenure is essential to create sustainable/thriving communities and success of the *Belfast Agenda*.
 - It is committed to supporting the implementation and delivery of affordable housing policy and will continue to work with Clanmill Housing to consider alternative tenures for remaining units.
 - Social stock in area is higher than Belfast average (35% compared with 26.3%). Higher-than-average private rented sector (45.1% compared to 22.7%). Owner-occupation data shows 19.9% compared to a Belfast average of 51%.
 - Waiting list applicants have different circumstances, needs and levels of points. Principle of affordable housing policy is to deliver choice and wider range of homes to suit different households.
 - This scheme is programmed for Year 2 (2025/26), reviewed annually based on budget.
 - 'Shared Housing Scheme': this scheme will not be assessed for 'Housing for All' funding until funding position is confirmed for 2025/26.
 - NIHE has worked collaboratively and flexibly on mono-tenure legacy applications, however a consistent approach and clear communication is important to implement affordable housing policy post Plan Strategy adoption to realise ambitions of the recently published Housing Supply Strategy.

Representation received on 10th December 2024:

8. NIHE has provided a further representation, dated 10th March 2025, in response to the amended description of development. It states that its letter should be treated as a formal objection to the amendments to deliver a fully social housing scheme at this location.
9. The representation is summarised below:
 - NIHE reaffirms its position regarding the original proposal for 84 social housing homes with the remaining 20 homes to be occupied by another tenure. This position has been clear and consistent with the Planners, Applicant and Housing Association throughout the application process.
 - NIHE considers that approval of 100% social housing on a scheme of this size is contrary to Policy HOU5 of the Plan Strategy, Affordable Housing and Housing Mix Supplementary Planning Guidance (SPG) and paragraph 6.137 of the SPPS in that the proposal is a 100% social housing mono-tenure scheme that fails to provide affordable housing as an integral part of mixed tenure.
 - It is understood that the applicant purchased the site in 2023 and would have been aware of the relevant planning policy and SPG.
 - There are significant benefits in effectively delivering affordable homes in mixed tenure development in the city via Policies HOU5 and HOU6 in terms of meeting affordable housing need by opening access to land, reducing pressures on government funding and minimising issues associated with mono-tenure development.
 - Paragraph 5.26 of the Development Management Report notes that the SPG states that 'in all cases, whether or not a proposal for mono-tenure social housing is deemed to deliver sustainable and balanced communities will be assessed on a case-by-case basis using the following factors:
 1. The level of social housing need in the vicinity of the site and the availability of land to address such needs
 2. The wider tenure and characteristics of the area, in order to minimise large areas of single tenure social housing; and,
 3. Whether a scheme is proposed as 'shared housing'.
10. In applying these factors to this proposal, there is a strong need for all types of affordable housing and mixed tenure development are essential to support balanced and sustainable communities. Given the importance of the specific locational context, it should be noted with regard to points 1 and 2, NIHE research has shown that there is a higher than Belfast average of social housing stock in the area (35% compared with 26.3%). There is also a lower-than-average owner-occupier sector (19.1% compared to Belfast average of 51%). There is therefore a sound factual basis to include a broader tenure mix.
11. The Right to Buy Scheme for Housing Associations has been removed by legislation, meaning that Housing Association tenants can no longer purchase their homes from a Housing Association. This further reinforces concerns that NIHE has regarding a single tenure scheme at this location. It is essential that we support and enable a broad range of homes to suit the wide variety of housing needs.

12. With regard to point 3, the applicant has indicated their preference that the scheme would be shared. The area has been considered an interface and remains subject to anti-social behaviour. It is not currently included in the 'Housing for All' programme and it is not possible to confirm its inclusion at this time. NIHE would certainly support an inclusive approach to the creation of a shared waiting list.
13. NIHE does not agree that there is a factual basis on which to premise the statement at paragraph 5.26 of the Development Management Report that 'having regard to these factors, and on balance, 100% social housing scheme would be considered acceptable in this case' and therefore disputes the accuracy and validity of this assertion. The evidence clearly does not support this statement.
14. In terms of funding, the scheme has always been considered for inclusion in year 2 (2025/26) of the Social Housing Development Programme to deliver 84 social homes. The scheme has never been considered for a start in 2024/25. There is no funding provision for a start this year. There are no guarantees at this time as to the level of funding that will be allocated to new build social housing for 2025/26.
15. The applicant's representative commented at the December Planning Committee meeting that the scheme would not be viable unless it was 100% social housing. However, NIHE has not seen any evidence of viability testing as part of this application.
16. It is for NIHE as Housing Authority to confirm that the scheme meets identified need and is a housing mix suitable for the profile of households on the waiting list. NIHE therefore objects to the proposed wording of the Section 76 planning agreement which stipulates that 49 of the social housing units shall be general social housing and 35 as Category 1 over 55s accommodation, unless otherwise agreed in writing. The allocation of social homes is through the Housing Selection Scheme and the wording of the Section 76 planning agreement should be amended accordingly.
17. NIHE states its commitment to work collaboratively with partners to deliver much needed homes across Belfast, facilitating and enabling a wide variety of homes to meet the wide variety of needs. It fully supports the Belfast Agenda commitment to "working in partnership to ensure that all residents have access to the high-quality, sustainable homes they deserve". NIHE would be happy to attend the Planning Committee to discuss any matters raised and would also welcome a session with Members, at a future date, on matters relating to the delivery of housing.

Updated Assessment

18. NIHE maintains its position that the scheme should provide no more than 80% of the residential units as social housing, to avoid mono-tenure development and promote sustainable and balanced communities.
19. As stated in the original Committee report, paragraph 4.4.12 of the SPG states that: *'In all cases, whether or not a proposal for mono-tenure social housing is deemed to deliver sustainable and balanced communities will be assessed on a case-by-case basis using the following factors:*
 - *The level of social housing need in the vicinity of the site and the availability of land to address such needs;*
 - *The wider tenure characteristics of an area, in order to minimise large areas of single tenure social housing; and*
 - *Whether a scheme is proposed as 'shared housing'.*

20. The level of social housing need in the vicinity of the site is significant and undisputed. There is a marked level of social housing stock in the area, which is higher than the Belfast average. There is also less than average owner-occupation. NIHE states that the scheme is not currently included in the 'Housing for All' programme and it is not possible to confirm its inclusion at this time. Therefore, less weight can be given to the proposal coming forward as shared housing.
21. NIHE is the Housing Authority for NI and its advice on housing policy matters should be given due weight. It is clear that it is unsupportive of a 100% social housing scheme. It is also the case that the applicant has not provided evidence to date that a mixed tenure scheme would not be viable. As it stands, the Council's stipulation that all 104 residential units are provided as social housing could result in a deliverability issue and the provision of up to 80% social housing, which still far and away exceeds the minimum 20% requirement set by Policy HOU5, would afford greater flexibility. In view of these factors, it is recommended that the social housing requirement for this scheme should be set out a maximum of 84 residential units (80%), but with potential allowance for up to 100% social housing, should these issues be satisfactory addressed at a future point and subject to approval by the Council in consultation with NIHE. This proposal would be secured through the Section 76 planning agreement.
22. Regarding NIHE's concerns about the balance of general social housing units and Category 1 over 55s accommodation, the current draft Section 76 planning agreement already includes a revised approach whereby the final mix must be agreed in consultation with NIHE prior to commencement of development. Ensuring a suitable mix of these units is considered important in view of the mono-tenure considerations.
23. The Pre-Action Protocol letter also raised concerns about the Council's interpretation of planning policy; namely Policy HOU5 (affordable housing), Policy HOU6 (housing mix) and Policy HOU7 (adaptable and accessible accommodation).
24. The issues concerning affordable housing and mono-tenure are dealt with in this updated assessment. The Pre-Action Protocol letter does not detail the concerns in respect of Policies HOU6 and HOU7. The issue of housing mix (Policy HOU6) – including the type and size of units, as well as the balance of Category 1 over 55s and general needs accommodation – is dealt with in the original report and this updated assessment. With regard to Policy HOU7, the original report confirms that the proposal does not fully comply with this policy in that it falls short by one wheelchair unit. However, the report goes on to advise that this is acceptable in the planning balance given the flexible design of all the units and the provision of a significant level of affordable housing to help meet local housing need. For the avoidance of doubt, the proposal meets the requirements of criteria a. to f. of Policy HOU7.

Recommendation

25. Having regard to the Development Plan and material considerations, it is still recommended that planning permission is granted subject to conditions and a Section 76 planning agreement. It is recommended that the social housing requirement for this scheme should be set at a maximum of 84 residential units (80%), but with potential allowance for up to 100% social housing, should the issues be satisfactory addressed and subject to approval from the Council in consultation with NIHE.
26. Delegated authority is sought for the Director of Planning and Building Control to finalise the wording of the conditions and Section 76 planning agreement.

Development Management Report

Summary	
Committee Date: 10 th December 2024	
Application ID: LA04/2024/0626/F	
Proposal: Erection of 104no. residential units across two detached blocks [ranging between 3 and 5 storeys] including 84 no. Social Rented Housing Units (comprising a mix of General Social Housing and Category 1 over 55's accommodation), landscaping, communal and private amenity space, ancillary cycle and car parking provision, and other associated site works.	Location: 1 Havelock House Havelock Place, Ormeau, Belfast, BT7 1EB
Referral Route: Application for Major development	
Recommendation: Approval subject to conditions and Section 76 planning agreement	
Applicant Name and Address: Genova North West Limited The Factory 184 Newry Road Banbridge BT32 3NB	Agent Name and Address: TSA Planning Ltd 20 May Street Belfast BT1 4NL
Date Valid: 17 th April 2024	
Target Date: 13 th November 2024	
Contact Officer: Ed Baker, Planning Manager (Development Management)	
Executive Summary: <p>The application proposes the construction of 104no. residential units, including 84no. social rented units (approximately 80%) comprising a mix of General Social Housing and Category 1 over 55s accommodation.</p> <p>The development would comprise two detached blocks, ranging in height from 5 storeys along the Ormeau Road elevation, stepping down to 3 storeys to the rear. The scheme also includes internal courtyard gardens, communal amenity provision and landscaping, 29 car parking spaces within the site (to the rear) accessed via Ormeau Street, cycle parking and associated works.</p> <p>The key issues for consideration of the application are set out below.</p> <ul style="list-style-type: none"> • Principle of housing in this location • Housing density • Affordable housing • Housing mix • Adaptable and accessible accommodation • Design and placemaking • Impact on heritage assets 	

- Residential quality and impact on amenity
- Community cohesion and good relations
- Security and design
- Open space
- Space Standards
- Access and transport
- Health impacts
- Environmental protection and climate change
- Flood risk and drainage
- Waste-water infrastructure
- Waste management
- Natural heritage
- Employability and Skills
- Section 76 planning agreement
- Pre-application Community Consultation
- Matters raised in representations

In the Belfast Urban Area Plan 2001 (BUAP 2001), the site is located within the city centre and is not zoned for any use.

In the draft Belfast Metropolitan Area Plan 2015 (dBMAP) (versions 2004 and 2014), the site is located within the city centre and within Shaftsbury Square Character Area and is not zoned for any specific use.

The site is a suitable and highly sustainable location for housing; the proposal would make effective use of previously developed land and would support City Centre Living.

Following negotiations and amendments, the design of the scheme is considered to be of good quality and appropriate to its context. There would be no harmful impacts on neighbour amenity.

The proposed access and parking arrangements would be suitable.

The provision of 84no. social housing units that respond to local housing need is welcomed.

NIHE is supportive of the on-site social housing proposals. No objections have been received from any statutory consultations, subject to conditions, informatives and Section 76 legal agreement.

There are no objections from non-statutory consultees, including amongst others, the Urban Design Officer, Environmental Health and Translink.

A total of 52 representations have been received. This includes 1no. petition objecting to the proposal with 462no. signatories, 49no. letters of objection, 1no. letter of mixed response, and 1no. letter objecting to the petition.

All concerns are addressed in the report.

Recommendation

Having regard to the Development Plan and material considerations, it is recommended that planning permission is granted subject to conditions and a Section 76 planning agreement.

Delegated authority is sought for the Director of Planning and Building Control to finalise the wording of the conditions and Section 76 planning agreement.

DRAWINGS AND IMAGERY

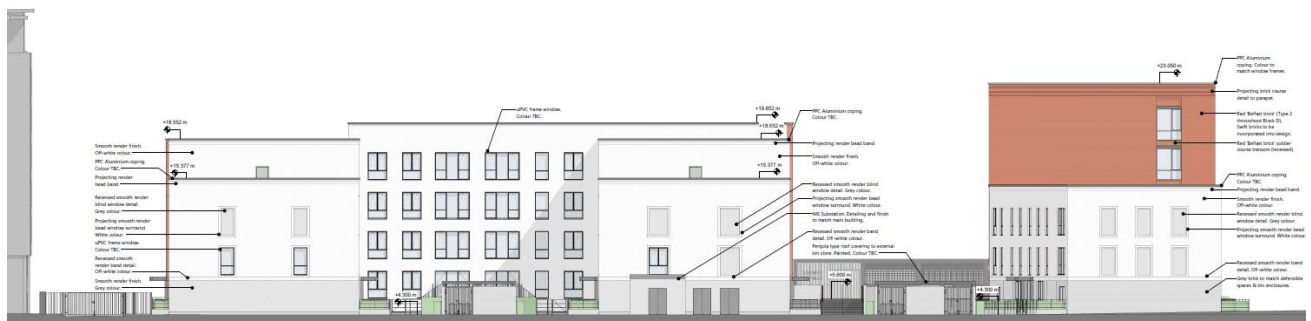
Site Location Plan:



Proposed Front Elevation (east):



Proposed Rear Elevation (west):



[illegible][illegible][illegible]

This architectural elevation drawing illustrates the proposed building complex. It features a variety of building styles, including a classical-style building on the left, a central building with a prominent entrance, and a long, multi-story building on the right. The drawing also shows a central courtyard area with a fountain and a small bridge. The buildings are rendered in a detailed line-art style, showing windows, doors, and architectural details. The drawing is oriented horizontally, with a north arrow pointing towards the top right corner.

[illegible]

CGI: Front elevation, looking northwards on Ormeau Road:



CGI: Front elevation, looking southwards on Ormeau Road:



CGI: Side elevation, looking northwards from McClure Street:



CGI: Rear elevation, looking eastwards from Vernon Street:




CGI: Key view looking west from Cromac Avenue, Gasworks:



CGI: Key view looking west from Lagan:



1.0	Characteristics of the Site and Area
1.1	<p>The site fronts onto Ormeau Road and is currently a vacant site, measuring approximately 0.73 hectares (1.81 acres). It was previously the site of a 3-storey building known as Havelock House, formerly the home of UTV, which has since been demolished. The southern boundary of the site is bounded by the railway line and is defined by a sloping embankment. The western boundary is defined by a mixture of brick wall and paladin fence. An existing layby is located along the Ormeau Road frontage of the site which accommodates approximately 7 parking spaces. The Ormeau Road rises on an incline along the site frontage before falling towards the city centre. The site itself falls from the Ormeau Road to the west.</p> <p><u>Existing site condition:</u></p> 
1.2	<p>The surrounding area is comprised of a mix of uses including residential, office, commercial and educational. Terraced and semi-detached dwellings are located to the immediate west/northwest of the site on Walnut Street/Vernon Street and Walnut Court. The site is bounded to the north by Coyle's Place, where the 8-storey residential block (Portland 88) sits, also fronting onto Ormeau Road.</p>
1.3	<p>The site sits immediately opposite the listed Klondyke Building and its adjoining contemporary extension (Gasworks site). Number 7 Walnut Court (Rose Cottage) is also a listed building and abuts part of the northern boundary of the site.</p>
	Description of Proposed Development
1.4	<p>The application seeks full planning permission for the erection of 104no. residential units. This would include 84no. social rented units (approximately 80%) comprising a mix of General Social Housing and Category 1 over 55s accommodation. The remaining 20no. units (approximately 20%) would be other tenures.</p>
1.5	<p>The scheme also includes internal courtyard gardens, communal amenity provision and landscaping, 29 car parking spaces to the rear of the site, accessed via Ormeau Street, cycle parking and associated works.</p>
1.6	<p>The application follows Pre-Application Discussions with officers.</p>

2.0	PLANNING HISTORY
2.1	<p><i>The following were undertaken in advance of this application being submitted:</i></p> <ul style="list-style-type: none"> • LA04/2023/4400/PAD <i>Decision: PAD concluded 14/03/2024</i> • LA04/2023/4409/PAN <i>Decision: PAN acceptable 28/11/2023</i> • LA04/2022/0896/PAN <i>Decision: PAN acceptable 23/05/2022</i>
2.2	<p><i>Previous planning history on this site:</i></p> <ul style="list-style-type: none"> • Planning Appeal PAC Reference 2020/A0107 (appeal against refusal of LA04/2020/0067/F) Demolition of existing buildings and erection of 270 no. apartment building comprising 8, 5 and 3 storey elements, provision of hard and soft landscaping including communal courtyard gardens, public realm, provision of 40 no. car parking spaces, cycle parking, substation and associated works. (Further information and amended plans received). <i>Decision: Appeal dismissed 05/10/2021</i> • LA04/2020/0067/F Demolition of existing buildings and erection of 270 no. apartment building comprising 8, 5 and 3 storey elements, provision of hard and soft landscaping including communal courtyard gardens, public realm, provision of 40 no. car parking spaces, cycle parking, substation and associated works. <i>Decision: Planning permission refused 18/11/2020</i> • LA04/2018/2562/PAD Demolition of existing building and erection of a 13 storey build to rent development with associated residents' amenity space, access, parking and landscaping. <i>Decision: PAD concluded 05/12/2022</i> • LA04/2018/1982/PAN Demolition of existing properties and erection of new purpose-built, multi-unit residential development for rental, C/W shared amenity spaces, all necessary ancillary/support accommodation, car parking and landscaping. <i>Decision: PAN Acceptable 16/08/2018</i>
2.3	<p><i>Relevant planning history adjacent to the application site:</i></p> <ul style="list-style-type: none"> • LA04/2016/0967/F Proposed erection of an eight storey residential development comprising 88 apartments with car parking, amenity space and associated site works, 55-71 Ormeau Road, Belfast, BT7 1EB. <i>Decision: Planning permission approved 10/03/2017</i> • LA04/2017/1998/NMC Non Material Change to LA04/2016/0967/F. <i>Decision: Non-material change approved 11/10/2017</i>

3.0	PLANNING POLICY
3.1	<p>Development Plan – local development plan</p> <p><u>Belfast Local Development Plan, Plan Strategy 2035</u></p> <p><i>Strategic Policies:</i></p> <ul style="list-style-type: none"> • Policy SP1: Growth Strategy • Policy SP1A: Managing growth and supporting infrastructure delivery • Policy SP2: Sustainable development • Policy SP3: Improving health and wellbeing • Policy SP4: Community cohesion and good relations • Policy SP5: Positive placemaking • Policy SP6: Environmental resilience • Policy SP7: Connectivity • Policy SD2: Settlement Areas <p><i>Operational Policies:</i></p> <ul style="list-style-type: none"> • Policy HOU1: Accommodating new homes • Policy HOU2: Windfall housing • Policy HOU4: Density of residential development • Policy HOU5: Affordable housing • Policy HOU6: Housing Mix • Policy HOU7: Adaptable and accessible accommodation • Policy DES1: Principles of urban design • Policy DES2: Masterplanning approach for major development • Policy RD1: New residential developments • Policy CGR1: Community cohesion and good relations • Policy BH1: Listed Buildings • Policy BH4: Works to grounds affecting built heritage assets • Policy BH5: Archaeology • Policy TRAN1: Active travel – walking and cycling • Policy TRAN 2: Creating an accessible environment • Policy TRAN4: Travel plan • Policy TRAN8: Car parking and servicing arrangements • Policy ENV1: Environmental quality • Policy ENV2: Mitigating environmental change • Policy ENV3: Adapting to environmental change • Policy ENV4: Flood Risk • Policy ENV5: Sustainable drainage systems (SuDS) • Policy HC1: Promoting healthy communities • Policy OS3: Ancillary open space • Policy TRE1: Trees • Policy NH1: Protection of natural heritage resources

	<p><u>Supplementary Planning Guidance</u></p> <ul style="list-style-type: none"> • Affordable Housing & Housing Mix • Residential Design • Placemaking & Urban Design • Masterplanning Approach for Major Developments • Sustainable Urban Drainage Systems • Transportation
3.2	<p>Development Plan – zoning, designations and proposals maps</p> <ul style="list-style-type: none"> • Belfast Urban Area Plan (2001) BUAP • Draft Belfast Metropolitan Area Plan 2015 (v2004) • Draft Belfast Metropolitan Area Plan 2015 (v2014)
3.3	<p>Regional Planning Policy</p> <ul style="list-style-type: none"> • Regional Development Strategy 2035 (RDS) • Strategic Planning Policy Statement for Northern Ireland (SPPS)
3.4	<p>Other Material Considerations</p> <ul style="list-style-type: none"> • Developer Contribution Framework (2020) • Belfast Agenda (Community Plan)
4.0	<p>CONSULTATIONS AND REPRESENTATIONS</p>
4.1	<p><u>Statutory Consultees</u></p> <p>Responses from statutory consultees are summarised below. Further detail concerning their feedback is provided in the main assessment section of the report, where appropriate.</p> <ul style="list-style-type: none"> • DfI Roads: No objection subject to conditions & Section 76 Planning Agreement • DfC HED: No objection subject to informatives • DfI Rivers: No objection subject to informatives • DAERA (NIEA): No objection subject to conditions & informatives • NI Water: No objection subject to conditions • NIHE: No objection subject to Section 76 Planning Agreement
4.2	<p><u>Non-statutory Consultees</u></p> <p>Responses from non-statutory consultees are summarised below. Full details are provided in the main assessment section of the report, where appropriate.</p> <ul style="list-style-type: none"> • BCC Urban Design: No objection • BCC Trees: No objection subject to conditions • BCC Environmental Health: No objection subject to conditions & informatives • BCC Landscape Planning & Management Team: No objection • BCC Waste Management: No objection • Translink: No objection subject to conditions & informatives • Shared Environmental Services: No objection

	<u>Representations</u>
4.3	The application has been advertised in the newspaper and neighbours notified.
4.4	<p>A total of 52no. representations have been received and are summarised as follows:</p> <ul style="list-style-type: none"> • 1 x petition of objection (462 x signatories) • 49 x objections • 1 x mixed response • 1 x objecting to the petition
4.5	<p>The key material issues identified in the objections are:</p> <ul style="list-style-type: none"> • Wrong form of development • Wrong form of social housing • Not social regeneration • High density • Lack of retail use • Height • Dominance • Inappropriate design • High-rise residential development unsuccessful • Privacy impact • Loss of light • Overshadowing • Lack of amenity space • Security, anti-social issues, crime, nuisance • Noise impact • Pollution • Impact from construction & demolition • Impact on services / infrastructure • Parking • Traffic increase, noise & pollution • Community impact • Community not engaged / heard • Mental health impact • Human rights • Distribution of homes to NIHE priority list
4.6	Two representations registered objections without giving specific reasons.
4.7	One representation of mixed support was received which noted support for the proposed social housing and density but registered objection to the lack of retail use and active frontage at ground floor level.

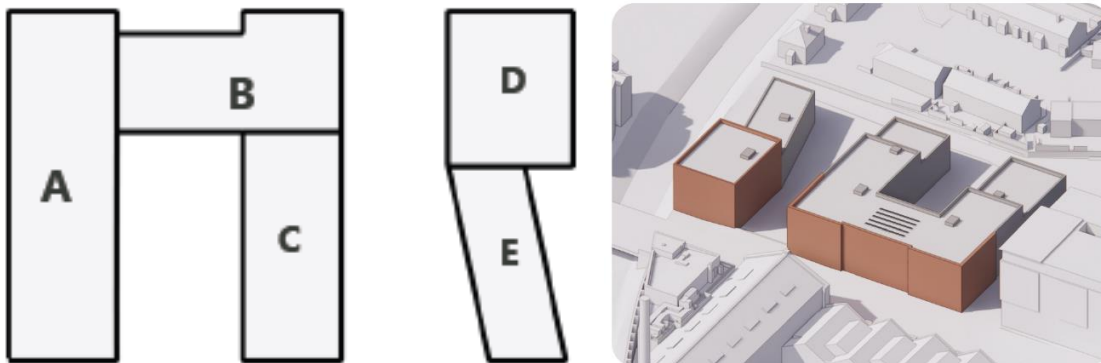
4.8	One further representation noted that they objected to the submitted petition.
4.9	All concerns noted in representations are fully considered within the assessment of the proposal below.
5.0	<p>PLANNING ASSESSMENT</p> <p>Main Issues</p> <p>5.1 The main issues relevant to consideration of the application are summarised in the executive summary above and set out in detail below.</p> <p>Development Plan Context</p> <p>5.2 Section 6(4) of the Planning (Northern Ireland) Act 2011 states that in making any determinations under the Act, regard is to be had to the local development plan, and the determination must be made in accordance with the plan unless material considerations indicate otherwise.</p> <p>5.3 Section 45(1) of the Act states that in determining planning applications, the Council must have regard to the local development plan, so far as material to the application, and to any other material considerations.</p> <p>5.4 The Belfast Local Development Plan (LDP) when fully completed will replace the Belfast Urban Area Plan 2001 as the statutory Development Plan for the city. The Belfast LDP will comprise two parts. Part 1 is the Plan Strategy, which contains strategic and operational policies and was adopted on 02 May 2023. Part 2 is the Local Policies Plan, which will provide the zonings and proposals maps for Belfast and has not yet been published. The zonings and proposals maps in the Belfast Urban Area Plan 2001 remain part of the statutory local development plan until the Local Policies Plan is adopted.</p> <p><u>Operational Policies</u></p> <p>5.5 The Plan Strategy contains a range of operational policies relevant to consideration of the application. These have been listed at paragraph 3.1.</p> <p><u>Proposals Maps</u></p> <p>5.6 Until such time as the Local Policies Plan is adopted, the Council must have regard to the land-use zonings, designations and proposals maps in the Belfast Urban Area Plan 2001, both versions of the draft Belfast Metropolitan Area Plan (v2004 and v2014) (draft BMAP 2015) and other relevant area plans. The weight to be afforded to these proposals maps is a matter for the decision maker. It is considered that significant weight should be given to the proposals map in draft BMAP 2015 (v2014) given its advanced stage in the development process, save for retail policies that relate to Sprucefield which remain contentious.</p> <ul style="list-style-type: none"> • Belfast Urban Area Plan 2001: the site is un-zoned land within Belfast City Centre. • Belfast Metropolitan Area Plan 2015 (2004): the site is un-zoned land within Belfast City Centre and falls with the Shaftesbury Square Character Area. • Belfast Metropolitan Area Plan 2015 (v2014): the site is un-zoned land within Belfast City Centre and falls with the Shaftesbury Square Character Area.

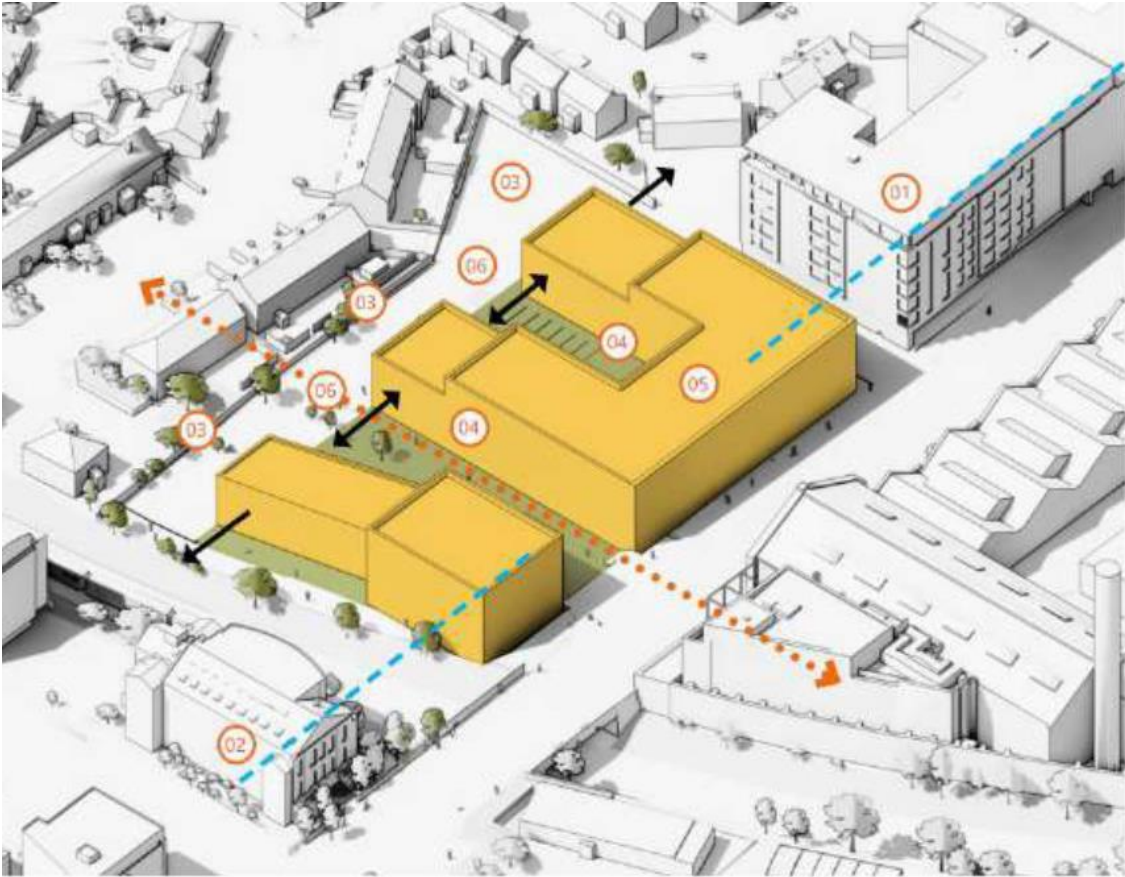
	<p><u>Background</u></p>
5.7	<p>This application represents the outcome of a number of previous PANs, PADs and a full application for the site. Where the previous refused scheme proposed 270no. units with a maximum height of 8 storeys, and included the demolition of Havelock House, the proposal as now submitted has now been reduced significantly to 104no. units with a maximum height of 5 storeys. As Havelock House has since been demolished, this is no longer a relevant consideration in the assessment of this application nor required to be included in the application description.</p>
5.8	<p>As before, this proposal was the subject of a PAN, and the council is satisfied that the pre-application community undertaken fulfilled the legislative requirements regarding engagement with the local community.</p>
5.9	<p>PAD discussions with the agent/applicant were undertaken over a period of 4 months prior to submission of this planning application, which included input from statutory consultees and BCC's Urban Design Officer.</p>
5.10	<p>Following submission of the application, concerns were raised by NIHE through the consultation process regarding the proposed tenure, which was initially 100% social housing. The scheme has since been amended to propose 84.no social housing units (approximately 80%), with a mixed split of General Social and Category 1 over 55s. The remaining 20 units are to be another tenure.</p>
	<p><u>Site context</u></p>
5.11	<p>The proposed site is located within Belfast City Centre along the key arterial transport route of the Ormeau Road, directly opposite the Listed Buildings associated with the Gasworks site to the south of the city centre.</p>
5.12	<p>Given its location, the site has excellent connectivity to wider parts of the city and further, within walking distance (approximately 950m) of the new Belfast Grand Central transport hub. The site is also 800m walking distance from Botanic Train station and is located on the new anticipated North/South Glider Bus Route.</p>
5.13	<p>The surrounding area is characterised by a mix of uses at this location including residential, employment/offices, commercial and educational uses.</p>
5.14	<p>The site does not fall within a Conservation Area or an Area of Townscape Character (ATC), and as noted above while it was previously developed, it is now a vacant site.</p>
	<p><u>Principle of housing in this location</u></p>
5.15	<p>Policy HOU1 of the Plan Strategy sets out the housing requirements for the plan-period. This includes a total of 2,000 windfall homes. The proposal comprises windfall housing and so Policy HOU2 applies. Policy HOU2 requires windfall housing to be delivered on previously developed land, which the application site is. Policy HOU2 goes onto require that such proposals also satisfy the three criteria below.</p> <ul style="list-style-type: none"> a. <i>The site is suitable for housing,</i> b. <i>The location is accessible and convenient to public transport and walking cycle infrastructure; and</i> c. <i>Provision is made for any additional infrastructure required as a result of the development.</i>

5.16	In respect of each of the above, the site is considered a suitable location within the city centre and suitable in principle for housing. It is located in an area that is accessible to shops, services, amenities and public transport. Suitable infrastructure is in place and no additional measures would be required.
5.17	The proposal for 104no. units will provide a form of quality residential housing that will add to the variety of housing stock in the city, delivering a new and sustainable mixed tenure scheme in a city centre location. It is within walking distance of the city core and can take advantage of the proximate waterside location for amenity value, providing the opportunity to mix residential development with other economic uses already established along the Waterfront and further strengthen a key city corridor. It will promote city centre living and given its proximity will support the city centre including shops, bars, restaurants, leisure and other amenities.
5.18	Due to the accessible location of the site within the City Centre, the proposal will also contribute to the creation of a high quality and healthy environment for people to work, live and stay connected. The subject site sits adjacent to the Donegall Pass and Lower Ormeau Communities which was a focus of the pre-application community engagement.
5.19	For these reasons, the principle of housing in this location complies with Policies HOU1 and HOU2 and is considered acceptable. For the same reasons it is also compliant with Strategic Policies SP1, SP1A, SP2 and SP4, and the relevant objectives of the RDS and SPPS.
	<u>Housing density</u>
5.20	Policy HOU4 seeks to promote appropriate housing densities to ensure effective use of land, a finite resource, in sustainable locations.
5.21	With a site area of approximately 0.73 hectares, the proposed density equates to 142 dwellings per hectare (dph). This falls marginally below the policy bracket of 150-350dph for the city centre, roughly 6no. units short of what would be required to meet 150dph. In this instance however it is noted that through the design discussions it was agreed that the building height should be restricted to 5 storeys to the front and 3 storeys to the rear in order to suitably respect the built heritage and streetscape on Ormeau Road and residential properties to the rear of the site respectively. Furthermore, the number of 1-bed units was purposely reduced from an initial 40% to approximately 25% in response to community consultation feedback at the PAN stage.
5.22	For these reasons, and whilst the density is slightly below the recommended minimum, the shortfall is considered minor and enables subsequent, wider benefits to be achieved, resulting in overall planning gain. As such it is considered that the proposal does not conflict with the overall objectives of Policy HOU4.
	<u>Affordable housing</u>
5.23	Policy HOU5 of the Plan Strategy requires housing schemes of 5 units or more, or sites of 0.1 hectares or greater, to deliver a minimum 20% affordable housing. Provision should be an integral part of mixed tenure development, integrated with general needs housing, and should include an appropriate mix in terms of size, type and tenure. In this case, in response to concerns raised by NIHE about a mono-tenure scheme, the application as revised proposes 80% social housing, which exceeds the minimum 20% policy requirement. This would be integral to the development and would be made up of 49no. General Social Housing units and 35no. Category 1 Over 55s accommodation. Given the high percentage of affordable units being proposed, this mix is considered

	acceptable and is welcomed. The actual breakdown of these units is set out in the table below.																																																	
	<table><tr><th>Unit size</th><th>General Needs Apartment</th><th>General Needs Maisonette</th><th>General Needs Accessible</th><th>Category1 Over 55s</th><th>Category1 Over 55s Accessible</th><th>Total</th></tr><tr><td>1B2P</td><td>5</td><td></td><td>1</td><td>12</td><td>2</td><td>20</td></tr><tr><td>2B3P</td><td>13</td><td>16</td><td>4</td><td>19</td><td>2</td><td>54</td></tr><tr><td>2B4P</td><td>2</td><td></td><td></td><td></td><td></td><td>2</td></tr><tr><td>3B5P</td><td>4</td><td>2</td><td>1</td><td></td><td></td><td>7</td></tr><tr><td>3B6P</td><td>1</td><td></td><td></td><td></td><td></td><td>1</td></tr><tr><td>Total</td><td>25</td><td>18</td><td>6</td><td>31</td><td>4</td><td>84</td></tr></table>	Unit size	General Needs Apartment	General Needs Maisonette	General Needs Accessible	Category1 Over 55s	Category1 Over 55s Accessible	Total	1B2P	5		1	12	2	20	2B3P	13	16	4	19	2	54	2B4P	2					2	3B5P	4	2	1			7	3B6P	1					1	Total	25	18	6	31	4	84
Unit size	General Needs Apartment	General Needs Maisonette	General Needs Accessible	Category1 Over 55s	Category1 Over 55s Accessible	Total																																												
1B2P	5		1	12	2	20																																												
2B3P	13	16	4	19	2	54																																												
2B4P	2					2																																												
3B5P	4	2	1			7																																												
3B6P	1					1																																												
Total	25	18	6	31	4	84																																												
5.24	<p>NIHE has confirmed it is supportive of the proposed 80% social provision and that a mixed tenure proposal on the site is in line with Policy HOU5 and the SPPS. In an earlier consultation response, NIHE confirmed the level of housing need. It advised that in March 2024 there were 5,252 total applicants and 4,130 stress applicants on the South and East Belfast Waiting List. There was a total of 622 allocations. NIHE recognises that a variety of house types, sizes and tenures is fundamental to the successful delivery of the Local Development Plan with housing that can meet the full range of housing needs. The provision of affordable housing will be secured by way of a Section 76 Planning Agreement.</p> <p><u>Tenure mix</u></p>																																																	
5.25	<p>It is noted that the initial application proposed a 100% social housing scheme, which has been reduced to 80% on the basis that this would represent a better tenure mix having regard to Policy HOU5 and the 'Affordable Housing and Housing Mix Supplementary Planning Guidance', and that agreement has not yet been reached with NIHE on a 100% social housing scheme. The applicant has confirmed that discussions are continuing on this and there is potential for agreement to be reached with NIHE in the future about a 100% social housing scheme.</p>																																																	
5.26	<p>The council's 'Affordable Housing and Housing Mix' Supplementary Planning Guidance (SPG) states that: <i>'In all cases, whether or not a proposal for mono-tenure social housing is deemed to deliver sustainable and balanced communities will be assessed on a case-by-case basis using the following factors:</i></p> <ul style="list-style-type: none"><i>• 'The level of social housing need in the vicinity of the site and the availability of land to address such needs,</i><i>• The wider tenure and characteristics of an area, in order to minimise large areas of single tenure social housing; and</i><i>• Whether a scheme is proposed as 'shared housing'</i>																																																	
5.27	<p>In respect of the first factor, NIHE has confirmed that there is a significant level of social housing need in the area. In relation to the second factor, there is a high level of social housing in the locality. Regarding the third factor, the applicant has indicated that the proposal is for shared housing.</p>																																																	
5.28	<p>The applicant has indicated their ultimate objective of a 100% social housing scheme. The application therefore needs to be assessed on this basis, notwithstanding the applicant's agreement to limit the scheme to 80% social housing. Whilst there is a high level of social housing already in the locality, regard is had to the significant social housing need; the applicant's commitment to both general and Category 1 social</p>																																																	

	housing which would of itself provide a mix of accommodation type; as well as the applicant's proposal to provide the scheme as shared housing.
5.29	Having regard to these factors, and on balance, a 100% social housing scheme would be considered to be acceptable in this particular case.
	<u>Housing mix</u>
5.30	Policy HOU6 requires that provision should be made for small homes across all tenures to meet future household requirements and that the exact mix of house types and sizes will be negotiated on a case-by-case basis. The requirement for a mix of house types will not apply to single apartment developments such as the proposal, and in such cases, the housing mix will be considered acceptable through greater variety in the size of units. The SPG also suggests that 3 and 4-bedroom apartments should be encouraged to promote choice and facilitate the creation of sustainable and balance neighbourhoods.
5.31	The scheme proposes a good range of house types consisting of 1 bed, 2 bed and 3 bed units, including family maisonettes, and 10no. wheelchair accessible units. Whilst it does not include any 4 bed units, the proposed mix of 1B2P to 3B6P is considered to provide a satisfactory range of size and type. Taking these considerations into account, on balance, the proposed housing mix is acceptable under Policy HOU6.
	<u>Adaptable & accessible accommodation</u>
5.32	Policy HOU7 requires that all new homes should be designed in a flexible way to ensure that housing is adaptable throughout all stages of life. Policy HOU7 sets six criteria (a.) to (f.) to be met in order to help deliver adaptable and accessible homes. The policy also requires that at least 10% of units in residential developments of 10 units or more to be wheelchair accessible and provides an additional nine criteria (g.) to (o.) which these units must meet. With the scheme proposing 104no. units, 10% would equate to 11 accessible units (rounded up).
5.33	In this regard, the proposal includes 10no. wheelchair accessible units, which falls one unit short of the requirement. It is noted however that the Housing Mix Statement and Affordable Housing Proposal Form which were submitted in support of the application clarify that in addition to the 10no. wheelchair accessible units, all the new apartments have been designed with flexibility in mind for various stages of life. This includes the over 55's units as well as 1, 2 and 3 bed apartments for various family sizes, which will ensure that occupants can adapt and remain within the proposed development even as their needs change. Whilst the proposal falls short by one wheelchair accessible unit, this should be balanced against the fact that all the units within the whole development will be flexibly designed and the significant level of provision of much needed social housing. Therefore, the approach is considered acceptable in the planning balance, having regard to Policy HOU7 of the Plan Strategy.
	<u>Design & placemaking</u>
5.34	The proposal has been assessed against the SPPS, Creating Places and Policies SP5, DES1, DES2 and RD1 of the Plan Strategy.
5.35	Policies SP5 and DES1 promote good placemaking, high quality design and the importance of proposals responding positively to local context addressing matters such as scale height, massing, proportions, rhythm, and materials avoiding any negative impact at street level. Policy DES1 states that planning permission will be granted for

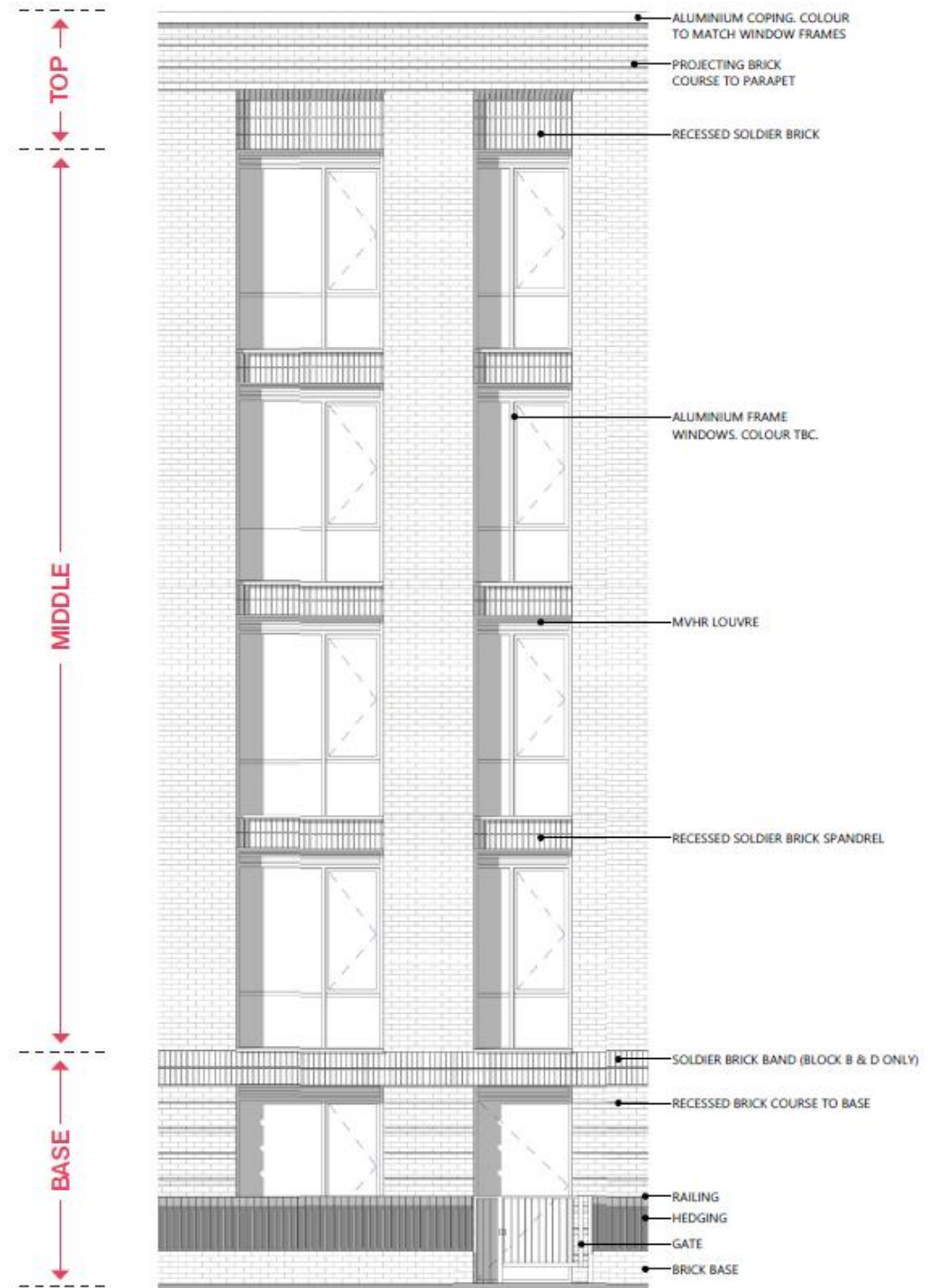
	new development that is of a high quality, sustainable design that makes a positive contribution to placemaking and goes onto list 11 criteria, (a.) to (k.).
5.36	Policy DES2 advocates adopting a holistic approach to site layout that is mindful of adjacent development. Planning permission will be granted for major development where it accords with the principles (a.) to (j.). Policy RD1 requires new residential development to be in accordance with general urban design policies and other relevant policy requirements such as land use, neighbouring amenity, space standards, access, standard of living etc.
5.37	In respect of the above, the proposed scheme has evolved through close discussions with the Planning Service and its urban design team through both the PAD and application stage to ensure that each policy and relevant criteria have been met. <u>Scale, height & massing</u>
5.38	As now proposed, the scheme consists of five individual blocks, connected and contained within two larger separate blocks. These have been designed to take advantage of the site layout and surrounding context, in particular the relationship to the front of the site with the adjoining Portland 88 building to the north and Former Methodist Church to the south. To the rear a key design principle was to ensure an appropriate step-down in both form and mass towards the 2-storey residential housing.  <p>The diagram shows five blocks labeled A, B, C, D, and E. Blocks A, B, and C are connected in a horizontal row, with B in the middle and A and C on either side. Block D is a separate rectangular block to the right of B and C. Block E is a trapezoidal block located below D and to the right of C. To the right of the diagram is an aerial photograph showing the proposed development in a brown color, situated between a taller building to the north and a lower building to the south, with a parking area in front.</p>
5.39	Looking specifically to the east of the site and fronting onto Ormeau Road, the higher 5 and 4 storey blocks will respond to the topography of the site, the shoulder height of Portland 88 and the roofline of the Former Methodist Church. Contextually, the height of the blocks to the front are considered sympathetic to their wider context and would provide an appropriate addition to the streetscape.
5.40	Moving westwards towards the rear of the site the blocks will step down to 3 storeys in height across three separate linear east/west blocks. These have been specifically designed to reference the historic street plan and will improve privacy to and reduce potential impact on neighbouring residential properties.
5.41	The council's SPG 'Residential Design' states that suitable separation is required between properties to ensure all residents benefit from adequate daylight and sunlight, and to achieve sufficient outlook and privacy. It recommends that a minimum of 20m should be maintained between facing windows of habitable rooms and 10m between blank gable walls or non-habitable rooms. In this instance, at its nearest point the elevation closest to the rear boundary will achieve a minimum separation distance of 20.7m from the closest neighbouring property to the west. The remaining distances from rear elevations will range from 22.4m to increasing to 24.6m at their furthest point.

5.42	<p>Each of these rear elevations would be blank gables, with the internal layout specifically designed to provide inward facing apartments to further minimise overlooking issues to neighbouring dwellings. These distances are therefore considered sufficient to prevent impact on neighbours and are in line with the guidance.</p>
5.43	<p>Inner courtyards to the rear will provide high quality south-west facing amenity spaces, providing light and useable amenity space for residents and an opportunity to create visual links through entrances to the Ormeau Road.</p>
5.44	<p>The extract below from the DAS shows how each of these elements have been specifically designed to take cognisance of the surrounding context.</p>  <p>01 Relationship with neighbouring Portland 88 building 02 Relationship with former Methodist Church 03 Step-down in form and mass towards the 2-storey residential housing to the rear 04 Building form creates internal courtyards providing light, amenity space & visual links 05 Linear east/west blocks to rear of main front blocks referencing historic street plan 06 Inward facing apartments to minimise overlooking to the rear</p> <p><u>Shaftesbury Square Character Area Urban Design Criteria</u></p>
5.45	<p>The site falls within Shaftesbury Square Character Area and Draft BMAP 2015 sets out the following design criteria to be applied within the area:</p> <ol style="list-style-type: none"> 1. Development proposals shall take account of the height of adjoining buildings Street Frontages

	<p>2. <i>That part of any development which fronts Dublin Road or Bradbury Place shall be a minimum building height of 5 storeys, or 17 metres to building shoulder height, and a maximum height of 7 storeys,</i></p> <p>3. <i>Shopfronts shall be of high quality materials consistent with Conservation Area policy (where applicable),</i></p> <p>4. <i>New development shall respect the established building line,</i></p> <p>5. <i>Building heights shall be a minimum of 2 storeys and a maximum of 3 storeys; and</i></p> <p>6. <i>Development shall be fine grain in nature and aim to reflect traditional plot widths. The façade of larger development proposals shall be broken up visually to reflect the scale of traditional units.</i></p>
5.46	The proposal takes account of the height of surrounding buildings and meets the first criterion above. The second and third criteria do not apply given the location and nature of the proposal.
5.47	Whilst the fourth criterion states that building heights shall be a minimum of 2 storeys and a maximum of 3 storeys the first criterion is also relevant. Building heights within the area vary from 2 storeys to 8 storeys. The height of the proposed development varies from 3 storeys to 5 storeys which accurately reflects and respects existing building heights in the area. The adjacent Portland 88, at 8 storeys high, exceeds the maximum height set out in the urban design criteria above and must be given material weight in this assessment.
5.48	<p>Given the variety of building heights adjacent and in the immediate area, it is concluded on balance that the proposal does not conflict the Character Area design guidance.</p> <p><u>Articulation & materiality</u></p>
5.49	With regards to façade articulation and materials, it is considered that the proposed composition achieves a subtle and tonal distinction through red brick to the main blocks to the front. Various options were explored through the PAD and application process for these blocks, and officers are satisfied that the final composition would be the most contextually appropriate.
5.50	Facing Ormeau Road, the main blocks would be clad in brick in order to harmonise with the surrounding streetscape and Gasworks site and include simple yet intricate detailing. Variation between blocks across the main frontage would be achieved through slight tonal differences in the brick colour and changes in detailing between blocks, including spandrel detailing and base band, as shown on the next page. All windows and doors within the brick portion of the building are to be PPC aluminium.

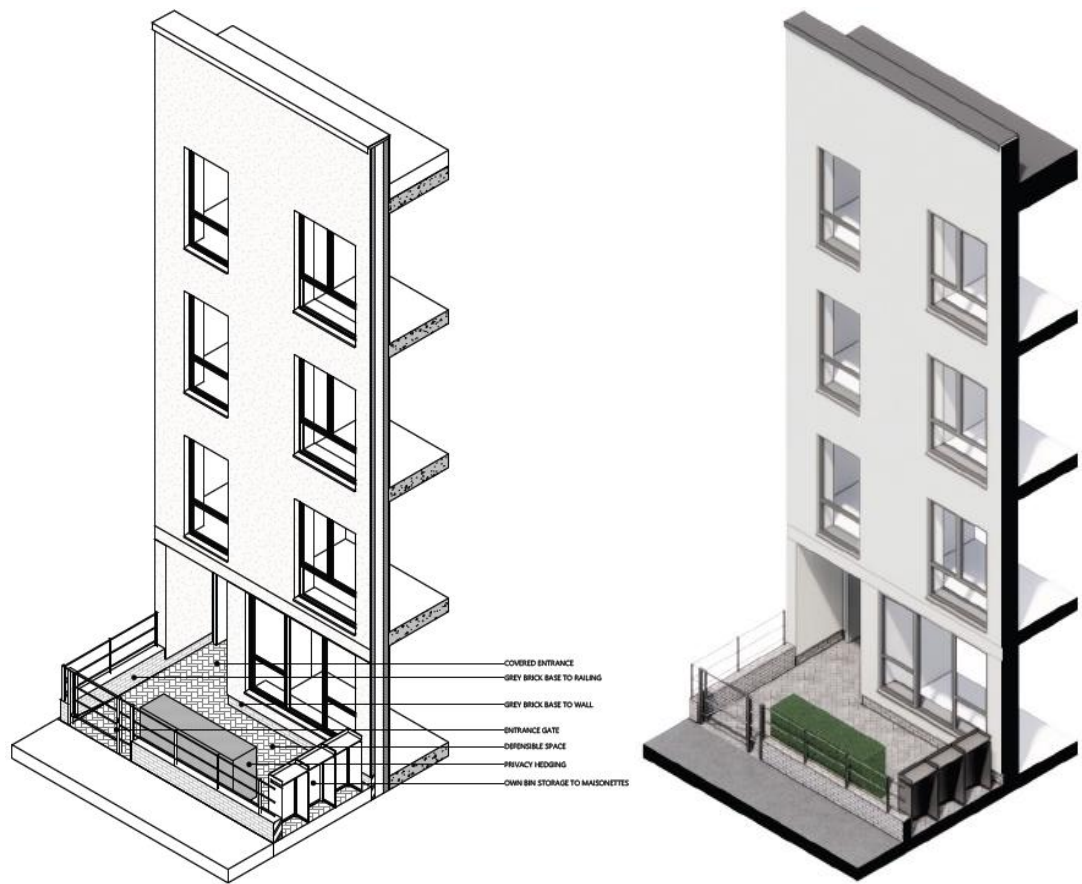


- 5.51 In terms of articulation, significant time was again spent between officers and the applicant regarding the visual presentation of each elevation, in particular those fronting onto Ormeau Road and those to the side and rear of the site which may be visible from adjoining streets.
- 5.52 A key driver for all brick portions to the front sections was to provide a distinct top, middle and base, as shown in the next image. This has been achieved through the use of projecting brick coursing together with an elongated window head detail to denote the top section. The middle is identified by consistent soldier course detailing to the spandrel zones, whilst the base is established through recessed brick coursing in addition to a horizontal band in some locations to provide a degree of rustication. Due to the internal layouts of some units, blind window detail has had to be used in some instances however this is not dissimilar to the language of the coal shed buildings of the Gasworks site opposite the application site.



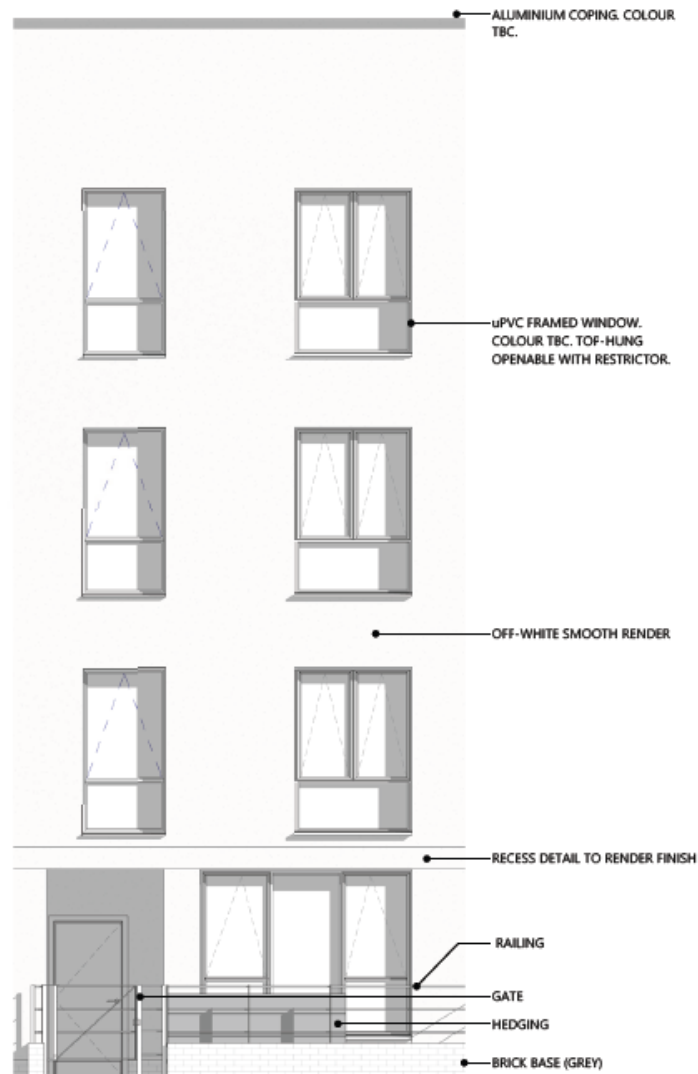
5.53

The rear sections, as shown in the following images, would be smooth render finish with additional articulation and tonal variety on those aspects that will be visible from adjoining streets and public vantage points, which again is considered acceptable. Given the less prominent nature of these elevations, the level of detailing and articulation is restrained in comparison to the brick portions.



5.54

As shown above and on the next page, recess detail would be provided at first floor to help visually articulate the base of the elevation which generally contains the maisonette living room windows, with three courses of grey brick at the base of the wall to improve longevity. The same brick is carried through to the defensible spaces for aesthetic continuity. All windows and doors in rendered portions of the building would be uPVC framed.




Public realm

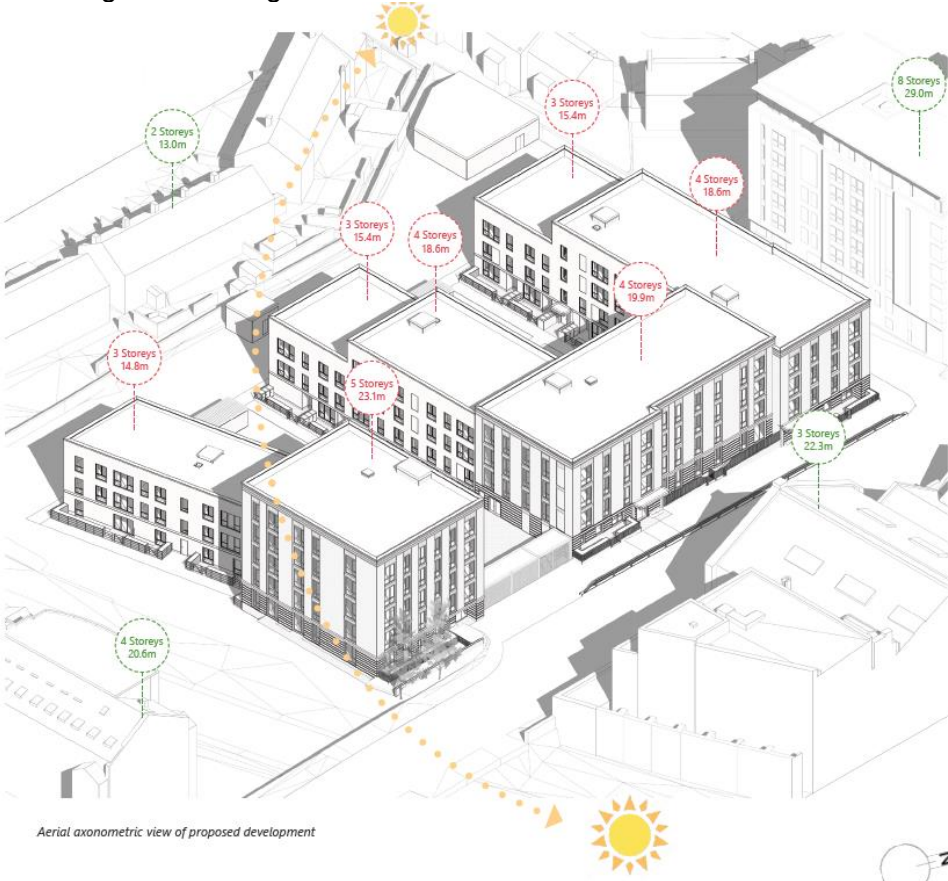
5.55

The landscaping plan includes a variety of measures to provide an acceptable public realm within the site, with a number of quality materials proposed to external areas. Main external pathways will be granite topped reconstituted stone paving with paving sett banding, whilst paths to the lower courtyard and access ramps would be textured/brushed concrete. Individual seating areas and pathways within the courtyard areas will be amber resin bond, with concrete imprint paving pattern to the upper courtyard area, and wetpour surfacing to the localised natural play areas. Picnic tables and benches will be hardwood timber, and private patio areas will be finished in feature buff tegula paving setts. The main driving areas will be permeable asphalt, with parking spaces and banding distinguished through a varying coloured finish. The external pedestrian paths on Ormeau Road would be bitmac surfacing to tie in with the existing. All of the above will be further complimented through a variety of natural landscaping including open grassed areas, tree planting, medium and low shrub planting and hedge planting to boundaries and privacy strips. Back of house uses such as car-parking, cycle parking and bin storage areas have been specifically located to maximise the amount of high quality landscaping and useable amenity space. Overall officers are satisfied that the proposed materials and features will provide a suitable and pleasant environment for users in accordance with Policies DES1, DES2 and RD1.

	<u>Masterplanning</u>
5.56	Policy DES2 requires a holistic approach to development to ensure it is appropriately located, designed and sensitive to surrounding uses and sites. As noted above, the proposal is considered to provide an appropriate development for the site and its context, providing a suitable addition to a vacant site that respects existing buildings within both the streetscape and surrounding area. It will provide a suitable density in a key city centre location, with suitable landscaping and public realm.
5.57	The DAS confirms that the proposal will adopt a fabric first approach, maximising insulation and airtightness to ensure a long-life building fabric that is environmentally sustainable. Indoor light and air quality have been carefully considered together with use of sustainable materials. The scheme has been designed to achieve an EPC rating of B which equates to SAP 81-91, through the use of both active and passive measures. The energy strategy is based on all-electric power supply, omitting the traditional use of oil or gas ensuring a level of futureproofing and promoting decarbonisation as the power network transitions to more renewable sources. Various sustainable measures have been incorporated, with a solar PV being provided for each associated unit and MVHR ventilation installed throughout the scheme. Window placement has been designed to provide optimal levels of thermal gain while preventing overheating. The overall orientation of the scheme's layout will improve access to light and natural ventilation. All relevant building elements will be insulated to meet Building Regulations performance requirements and achieve the targeted EPC rating, whilst the public realm and landscaping will supplement the overall SUDS strategy of permeable surfaces and stormwater attenuation.
5.58	Reduced parking provision together with suitable bicycle storage and inclusion of a green travel fund will promote green and active travel alternatives. Existing and planned (Glider) public transport links ensure a reliable and convenient connection to the City Centre further reducing the reliance on personal vehicle use.
5.59	The evolution of the scheme has also taken account of community feedback to ensure the protection of residential and neighbouring amenity through suitable scale, massing and separation distances. For these reasons it is considered that the proposal complies with the overall objectives of Policy DES2.
	<u>Design summary</u>
5.60	In light of the above, officers are satisfied that the scheme as now proposed will respond positively to local context and character through appropriate architecture and an urban form which addresses height, scale, massing, proportion, plot width, building lines, rhythm, roofscape and materials and any impact on built and natural heritage. For these reasons it complies with Policies SP5, DES1, DES2 and RD1 of the Plan Strategy, the Residential Design SPG and the SPPS. The final materials selection will be subject to a condition.
	<u>Impact on built heritage assets</u>
5.61	Policy BH1 seeks to safeguard the setting of Listed Buildings. Policies BH4 and BH5 seek to protect built heritage and archaeological assets respectively.
5.62	There are a number of Listed Buildings in the vicinity of the site which could be affected by the proposal, as described below:

	<ul style="list-style-type: none"> • <i>Former Presbyterian Church, 159-161 Donegall Pass – Grade B2</i> • <i>The Meter House, Belfast Gasworks – Grade B+</i> • <i>The Klondyke Building, Cormac Avenue – Grade B1</i> • <i>The Gas Office, 4-14 Cromac Quay – Grade A</i> • <i>Rose Cottage, 7 Walnut Court – Grade B</i>
5.63	<p>DfC Historic Environment Division (HED) and Historic Monuments have been consulted and confirmed that there are no objections to the proposal, subject to informatives. HED is satisfied that the scheme now presented will not create a significant negative impact, harm or adversely affect the setting of the above listed buildings, built heritage assets or archaeological assets, and is compliant with SPPS and Policies BH1, BH4 and BH5. Officers are satisfied that the proposed development would respect the setting of the nearby Listed Building and that it complies with the relevant policies in these regards.</p> <p><u>Residential quality and impact on amenity</u></p>
5.64	<p>Policies DES1, DES2 and RD1 highlight the need to minimise the impact of new development, the protection of both new and existing residents and the promotion of quality residential environments.</p> <p><u>Dominance</u></p>
5.65	<p>It is acknowledged that the overall scale and massing of the proposal is significantly greater than that found in the surrounding residential streets to the west (Walnut Street, Vernon Street, Walnut Court etc.) and a degree of dominance will result. In determining to what level this degree will impact neighbouring areas, there are a number of distinguishing factors which require to be taken into account.</p>
5.66	<p>Firstly, the impact on neighbouring properties has been carefully considered by providing a stepped down approach to minimise dominance. In terms of massing, studies provided in the DAS show that the relationship is actually an improvement on the previous situation residents would have experienced with Havelock House. The massing diagrams below help to demonstrate the comparative massing of what previously existed on site (green in first image) and what is now being proposed. The second image shows how the proposed scheme would step down from Ormeau Road to the 3 storey elements at the rear, highlighting that the new massing, combined with open space between, would be visually less dominant than the previous building when viewed from Walnut Court and the rear gardens of Walnut Street.</p> <div data-bbox="336 1543 1474 1926">  </div>

5.67	When viewed from the existing residential streets to the west, the 8 storey Portland 88 is significant in terms of its scale and height. The impact of the proposed development would be significantly less in terms of height, scale and massing. In this regard, the site depth is significantly deeper (c. 67 – 78.5m) compared to Portland 88 (c. 34-36m) which, while resulting in a larger footprint, has also allowed the building to incrementally step down to respond to the scale of the adjoining dwellings to the west.
5.68	<p>It is also acknowledged that it would not be unusual in an urban context to have a hierarchical scale of development with taller elements fronting onto main/arterial routes and the scale, height and massing of such developments reducing towards a more domestic, subservient scale to the rear. In terms of separation distances between the existing dwellings to the rear and the proposed 3 storey blocks, these would be:</p> <ul style="list-style-type: none"> • <i>c20m to the side of No. 71 Vernon Street,</i> • <i>c21 to 24m to the rear of Nos. 34 to 50 Walnut Street</i> • <i>c21m to the rear of No. 5 Walnut Court; and</i> • <i>c21m to the rear of the listed Rose Cottage, No. 7 Walnut Court</i>
5.69	<p>Having regard for the separation distances between the rear elevations and the nearby dwellings, the proposed approach is considered an appropriate design response to development on the site. Whilst a degree of dominance will exist, the level to which it impacts neighbouring dwellings would be no greater than that which existed with Havelock House and would be significantly less than that of Portland 88. In these regards, there would be no harmful impact on neighbour amenity by way of dominance.</p> <p><u>Overlooking & loss of privacy</u></p>
5.70	As noted in paragraph 5.43, the council's SPG 'Residential Design' requires suitable separation distances between buildings, with a recommended minimum of 20m between facing windows of habitable rooms and 10m between blank gable walls or non-habitable rooms. It also clarifies that in an urban context with higher density development, shorter distances may be deemed appropriate on a case-by-case basis and where there are material considerations that justify a reduction.
5.71	To ensure protection of adjoining residents' privacy, no windows or balconies are proposed to the rear elevations of the 3 storey blocks that extend westwards. The separation distance between these gables and the neighbouring properties ranges from 20.7m to the side gable of No. 71 Vernon Street and between 22.4m to 24.6m to the rear elevations of Nos. 34-50 Walnut Street. The main outlook for new residents has been intentionally orientated inwards towards the internal, communal courtyards, onto Ormeau Road at the front, or the railway embankment to the south side. The west facing windows on the inner central core of the main 4 storey block would be more than 50m from the nearest neighbouring property. For these reasons, officers are satisfied that there would be no adverse impact arising from direct overlooking or loss of privacy. The proposed distances are in line with the guidance and considered acceptable.
5.72	To the immediate north of the site is the existing 8 storey residential development of Portland 88. Apartments within this block have windows looking onto Coyle's Pace which separates the Portland 88 development from the site. It is considered that the proximity of the buildings, approximately 10.8m at its closest point, is not unusual in a city centre urban context where densities are higher than greenfield sites. There are many examples of similar developments with separation distances of less than 15m in the city, and the juxtaposition of the two schemes is on balance considered acceptable.

5.73	Residential units fronting the Ormeau Road will have an aspect looking onto this arterial route which will not cause an adverse impact on neighbouring amenity and is considered acceptable.
5.74	<p>Along the southern elevation residential units will look onto an area of public realm within the site and the railway embankment which runs along the southern boundary. In terms of amenity for proposed residents and in particular the distance from the railway, the 5 storey Block D would be c10m at its closest point and c14m at its furthest. The lower Block E would be c19.5m at its closest point and c20m at its furthest. It is noted that the site is elevated above the railway embankment which sits at a significantly lower level, and with private amenity space between the building and boundary with the railway line, combined with boundary screening to the embankment, officers are satisfied that the distance from the railway line would not have a detrimental impact on the quality of living or amenity of the southerly facing units. The impact of noise on residents arising from the railway is assessed separately later in this report.</p> <p><u>Impact on daylight & sunlight</u></p>
5.75	Concerns have been raised that the proposal will detrimentally impact neighbouring amenity by way of overshadowing and sunlight/daylight disruption.
5.76	<p>In this regard details provided in the DAS confirm firstly the proposed massing has been specifically designed to provide a step-down in scale from 4 and 5 storeys to a lower 3 storey scale to the rear. As shown below, when combined with the specific orientation of the 3 storey blocks, this will provide suitable external amenity space for proposed residents which maximises the site orientation, the path of the sun and subsequent light levels, while also minimising any impact on the residential units to the west by way of overshadowing or loss of light.</p>
 <p>The diagram is an aerial axonometric view of a proposed residential development. It shows several interconnected building blocks of varying heights. Callouts indicate the number of storeys and height for specific blocks: 2 Storeys (13.0m), 3 Storeys (13.4m, 14.8m, 15.4m, 18.6m, 19.9m, 22.3m, 23.1m), 4 Storeys (16.6m, 20.6m), and 5 Storeys (29.0m). A dashed orange line with arrows shows the path of the sun across the sky. Two sun icons are present, one at the top and one at the bottom right. A north arrow is located in the bottom right corner. The caption 'Aerial axonometric view of proposed development' is at the bottom left.</p>	

5.77 The specific impact on surrounding residential amenity by way of shadowing and loss of light has also been assessed using 3D modelling software. This analysis demonstrates that there will be no adverse impact on neighbouring residential amenity by way of overshadowing from the proposed development and it is considered that the proposed development would not result in an unacceptable loss of sunlight/daylight to neighbouring properties.

5.78 The comparative images from the submitted Light & Shadow Impact Study below show the impact of the proposed scheme on surrounding areas for both the Equinox (March and September) and Solstice (June and December).

Spring Equinox (March 21)

Proposed Massing



Morning - 9:00 AM



Midday - 12:00 PM



Afternoon - 3:00 PM

Summer Solstice (June 21)

Proposed Massing



Morning - 9:00 AM



Midday - 12:00 PM



Afternoon - 3:00 PM

Autumn Equinox (September 21)

Proposed Massing



Morning - 9:00 AM



Midday - 12:00 PM



Afternoon - 3:00 PM

Winter Solstice (December 21)

Proposed Massing



Morning - 9:00 AM



Midday - 12:00 PM



Afternoon - 3:00 PM

5.79

These images demonstrate that due to the orientation of the site, the proposed massing of the development and the arc of the sun, there will be no significant impact on neighbouring dwellings by way of overshadowing or loss of light to the residential properties to the west. The only impact would be to the side elevation of the Portland 88 side elevation, which would only occur for any sustained period during winter months.

Community cohesion and good relations

5.80

Policy SP4 seeks to ensure that new development maximises opportunities to build strong, cohesive communities, and that makes a positive contribution to good relations. This is further reinforced through Policy CGR1 which requires a number of key principles to be addressed.

5.81	The submitted Statement of Community Involvement and Good Relations Statement sets out the steps taken to engage with local communities from the outset and throughout the process. This included drop-in community consultation events and meetings with community groups and elected representatives. The statement confirms that concerns were raised from the local community regarding a number of issues such as the impact of the scheme through scale, massing, height and proximity to neighbouring dwellings, as well as interface issues including security and pedestrian access to the site, and in particular from Vernon Street & Walnut Street to the west. In direct response to the community consultation, feedback was taken on board which directly informed revisions to the layout, scale, massing, design and house types that were being considered.
5.82	Within the Belfast Agenda, the Council has committed to developing an Interfaces Programme which has yet to be delivered. Nonetheless Policies SP4 and CGR1 both require the Council to consider the impact that development will have on affected communities. In this instance, whilst access through this site was historically a through route/right of way, the application site is now private land and rights of way across the site were extinguished/abandoned in the 1980s/1990s. Following redevelopment of the area at that time, a number of streets including Lake Street and Outram Street were also extinguished / abandoned. Since this time the site has been occupied by Havelock House and its associated car park. An existing 2m high wall is being retained along the western boundary, which is in the ownership of NIHE, who did not raise any objection to its retention. Feedback from the community consultation further indicated that there was no desire to reopen the interface and therefore, whilst the council remains keen to promote active accessibility across all new development, in this instance it would not be considered appropriate to incorporate full and open pedestrian access through the site.
5.83	<p>The Statement of Community Involvement and Good Relations Statement confirms that the scheme is being specifically proposed as a Shared Housing Programme through 'Together: Building a United Community' (T:BUC), which demonstrates the aim to improve housing choice and tackle barriers that prevent people living in shared and balanced communities. There is no evidence in this instance that the proposal would cause a negative contribution to existing community relations, and it does not raise unsatisfactory concerns regarding the deterrent of crime and personal safety. For these reasons it is considered to accord with Policies SP4 and CGR1.</p> <p><u>Security and design</u></p>
5.84	The pedestrian access from Vernon Street, as noted previously, will be a secure access-controlled gated access which can only be utilised by residents and visitors to the proposed development. Officers are satisfied therefore that the existing established boundary with the adjacent residential area will be suitably retained. BCC Good Relations Unit were consulted on the previous application and did not raise any specific concerns on this matter. Given that the current application is of a similar nature, i.e. it does not include the provision of open public access through the rear of the site, it was not considered necessary to consult again as the circumstances remain unchanged.
5.85	Security throughout the site was also carefully considered through the community consultation process and the overall design stage, which included early engagement with a Secured by Design officer, to establish a series of varying but appropriate relationships to the surrounding area.
5.86	Facing Ormeau Road, private door access units are provided with defensible space. The central threshold structure provides access control to the inner site and short term bicycle and mobility scooter storage. The south boundary of the site faces the railway

	with no public access and a tall NI Railways security fence, whilst the combination of brick wall and metal fencing boundary between the site and the Donegall Pass residential area will be retained, ensuring that all rear elements of the boundary will be at least 1.8m tall.
5.87	All main entrances to individual Blocks will be access-controlled and all pedestrian and vehicular entrances will be both access-controlled and gated, establishing a clear boundary between the public and the semi-private realm. This includes the gated pedestrian access point on the western boundary linking to Vernon Street. A central Telecom system will link to all units, including the maisonettes, to provide residents with controlled remote visitor access both from Ormeau Road and Vernon Street.
5.88	CCTV cameras will provide surveillance to the main entrances, inner courtyards and the parking and bicycle storage area, whilst internal unit layouts have been designed to provide a degree of natural surveillance while minimising overlooking. Well-designed external lighting will provide discrete and effective lighting to the parking and landscaped garden areas. Furthermore, a central management and caretaker office will also be incorporated near the entrance to Block B, which will enable arrivals and departures from the building to be closely monitored.
	<u><i>Residential quality and impact on amenity summary</i></u>
5.89	Having considered all of the above, officers are satisfied that the proposal has been appropriately designed to take account of and avoid detrimental harm on residential quality and amenity in terms of dominance, overlooking, loss of privacy, separation distances, daylight, sunlight, accessibility, community relations and security. As such it is considered acceptable under policies DES1, DES2 and RD1.
	<u>Open space</u>
5.90	Policy OS3 requires that all new development proposals make appropriate provision for open space, including hard and soft landscaped areas and outdoor amenity areas, to serve the needs of the development. The normal expectation will be at least 10% of the total site area and should include complementary and ancillary equipment and facilities for active or passive enjoyment of residents. <i>Creating Places</i> advocates external private amenity space of between 10 and 30sqm per residential unit. For residential development for this size, i.e. over 100 units, Policy OS3 also requires an integral, equipped children's play area. An exception to this requirement can be considered where a sufficient equipped children's play area exists within reasonable walking distance (generally, around 400m).
5.91	In this instance, residential amenity space would be provided in the form of both private defensible space at ground floor level, and communal shared space through external courtyards, roof terraces and an area of open space to the south of the building.
	<u><i>Private defensible space</i></u>
5.92	All ground floor apartments would benefit from a degree of private defensible space, which is welcomed, and equates cumulatively to an average of 19sqm per unit. This would be provided through a variety of type related to the individual unit components. Ground floor maisonettes facing onto the inner courtyard will have private defensible space with lockable bin stores, railing, gate and brick base. Other ground floor units (i.e. non-maisonette style) would have similar defensible space opening onto the inner courtyard albeit bin stores would not be provided as these units are served by the communal bin stores.

	<p>Ground floor maisonettes fronting onto Ormeau Street (North face of Block A) will have a similar provision as the courtyard facing units but with higher railings to increase security. For those units on the front elevations fronting onto Ormeau Road and abutting the public footpath, individual doors and windows would either be recessed away from the street or placed on a different level to promote privacy and strengthen the perceived separation from the street. A series of covered entrance canopies will identify the primary access-controlled entrances to the main blocks. Balconies have not been proposed for units above ground level, and therefore the assessment of communal shared space below will be key to ensure that all residents have the benefit of suitable amenity space.</p> <p><u>Communal shared space</u></p>												
5.93	<p>The proposal incorporates approximately 24% of the site area as shared open space, compliant with Policy OS3, which equates to approximately 17.5sqm per unit and exceeds the minimum policy requirements. This would be provided through two central courtyards and additional communal areas to the rear of the development to preserve amenity and environmental quality. The two courtyard areas will provide secure, shared outdoor amenity space for residents, which are south-west facing to maximise sun and light levels. A further area of secure, shared space would be provided between Blocks D & E and the southern boundary of the site. In addition to the outdoor amenity space, internal amenity space will also be provided on the first floor above the entrance lobbies of Blocks A and C. Furthermore, it is acknowledged that the application site is also located within reasonable walking distance of a number of areas of open space in the vicinity including McClure Street (160m, c3 minute walk), Lagan green walkway (250m, c5 minute walk), Ormeau Park (805m, 10 minute walk), City Hall, (966m, c. 13 minute walk) and Botanic Gardens, (1127m, c. 14 minute walk). The total open space provision is set out in the table below.</p> <table border="1"> <thead> <tr> <th>Provision type</th><th>Size (sqm)</th></tr> </thead> <tbody> <tr> <td>Private defensible space</td><td>590</td></tr> <tr> <td>Shared outdoor amenity space</td><td>1770</td></tr> <tr> <td>Shared indoor amenity space</td><td>55</td></tr> <tr> <td>Total shared amenity space</td><td>1825</td></tr> <tr> <td>Shared amenity space per unit</td><td>17.5</td></tr> </tbody> </table> <p><u>Equipped play area</u></p>	Provision type	Size (sqm)	Private defensible space	590	Shared outdoor amenity space	1770	Shared indoor amenity space	55	Total shared amenity space	1825	Shared amenity space per unit	17.5
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5.94	<p>A dedicated area for small children to encourage natural play has been located within the open space area adjacent to the General Needs Block. It is also noted that there are two council maintained Local Equipped Areas for Play (LEAPS) located within 400m (5-10 minute walk) at McClure Street and Balfour Avenue. McClure Street in particular is in very close proximity and the equipped children's play area was refurbished in March 2020.</p>												
5.95	<p>The BCC Landscape Planning & Development Team have been consulted as part of the application process and confirmed there were no objections. The proposed layout is considered to provide good natural light levels to both private residential units and outdoor space. The submitted Landscape Management & Maintenance Plan is acceptable, and the combination of the proposed natural play area and proximity of the McClure Street LEAPS would meet the policy requirements for equipped play areas.</p>												

5.96

Open space summary

Having regard for all the considerations above, officers are satisfied that the development can be successfully absorbed into, and contribute to, the local area’s character without resulting in significant adverse effects on the quality, character or features of interest in the receiving townscape. The proposed open space is of good quality and is compliant with Policy OS3 and Creating Places.

5.97

Space Standards

As noted above the proposal comprises a mix of accommodation. General Needs units would be located throughout Blocks A, B and C, of which 18no. would be maisonette units, with private individual access and defensible space. These include a range of 1, 2 and 3 bed apartments. 6no. of these would be wheelchair accessible. The 20no. additional units will also offer the same range of type. Category 1 over 55s accommodation units would be provided in Blocks D and E in the form of 1 and 2 bed apartments, of which 4no. units would be wheelchair accessible.

5.98

The space standards for each are set out below and are in accordance with the minimum requirements as set out in Appendix C of the Plan Strategy and the relevant policy criteria of Policies HOU7 and RD1.

General Needs Social

Accommodation type	No.	SS minimum sqm	Proposed sqm
1B2P apartment	5	50	54-59
1B2P wh. accessible	1	60	65
2B3P apartment	13	60	63-70
2B3P maisonette	16	70	77
2B3P wh. accessible	4	80	80-86
2B4P apartment	2	70	73-79
3B5P apartment	4	80	85-90
3B5P maisonette	2	90	97
3B5P wh. accessible	1	105	111
3B6P apartment	1	85	115

Category 1 over 55s accommodation

Accommodation type	No.	SS minimum sqm	Proposed sqm
1B2P	12	50	54-55
1B2P accessible	2	60	65
2B3P	19	60	63-67
2B3P accessible	2	80	83-85

Other tenure

Accommodation type	No.	SS minimum sqm	Proposed sqm
1B2P	5	50	54-59
2B3P	10	60	63-70
2B4P	2	70	73-79
3B5P	3	80	85-90

	<u>Access & transport</u>
5.99	Policy SP7 supports connectivity to and within the city by sustainable transport modes, such as public transport, walking and cycling. These principles are further reinforced through the provisions of Policy TRAN1.
5.100	The site has excellent connectivity to wider parts of the city centre and further. It is well served by sustainable modes of transport, such as walking, cycling, and public transport. It benefits from a high level of passing pedestrians along Ormeau Road and is within walking distance (approximately 1,000m) from the recently opened Belfast Grand Central Transport Hub. It is also 800m walking distance from Botanic Train Station and the Ormeau Road is confirmed as the preferred North/South Glider bus route. A Transport Assessment Form and Travel Plan have been submitted in support of the application. Due to the nature of the proposal being a mixed social housing scheme and its location within the city centre, the proposal includes a parking provision of around 0.28 spaces per unit. It would provide 29no. spaces in total, of which 10no. are allocated for disabled parking, which promotes more car-free sustainable environment. This will be complemented by on-site sheltered and secured bicycle storage provision (100no. spaces) and a dedicated Green Travel Fund to promote sustainable transport modes amongst residents. For these reasons the proposal accords with Policies SP7 and TRAN1.
5.101	Policy TRAN2 requires new developments to take account of the specific needs of people with disabilities and others whose mobility is impaired through appropriate external layout. In this regard the proposed layout that has been designed for convenient movement along pathways, with unhindered approach to buildings and ease of access to both car-parking and public transport facilities. The disabled car-parking will be clearly demarcated and of appropriate dimensions in line with guidance. As such the proposal complies with Policies SP7 and TRAN2.
5.102	In line with Policy TRAN 4, a Framework Travel Plan has been provided which will further promote active and sustainable travel. This formed part of the evidence base for the scheme and includes a package of measures. Given the sites accessible location, the implementation of the Travel Plan will encourage residents to travel using sustainable modes including walking, cycling and public transport. The proposal includes for a provision of 100no. bicycle spaces and a Green Travel Fund of £202,737.00 (index linked) to promote sustainable transport choices. The Green Travel Fund would fund initiatives for residents including opportunity to purchase travel cards, Belfast Bikes membership, bicycle vouchers and car club membership. This would be secured by Section 76 Planning Agreement. DfI Roads has confirmed that the Travel Plan and Green Travel Fund are appropriate.
5.103	Policy TRAN 8 seeks to ensure adequate car parking and appropriate servicing arrangements are provided. It aims to assist in reducing reliance on the private car in particular for commuting into the city, tackling congestion, and bringing about changes in travel behaviour. The precise amount of parking should be determined according to specific nature of the proposed development and its location, taking into account areas of parking restraint and published parking standards. DfI Roads have clarified that the current parking standards for this Belfast City Centre location requires 1 space per dwelling.
5.104	With 29no. on-site parking spaces, the proposal obviously falls short of the standards at 0.28 spaces per unit. That being said, there are a number of material considerations which must be taken into account. Firstly, the site is highly sustainable being located on Ormeau Road, an arterial route and key transport corridor with frequent bus services,

	and which will also be part of the future glider route. It is close to the city centre core, Grand Central Station transport hub, other services, shops and amenities. Furthermore, the proposal incorporates 100no. secure and sheltered cycle spaces, and a Belfast Bike docking station is located in close proximity at the Gasworks.
5.105	The applicant has also provided a parking survey of the surrounding area, which demonstrated that there is sufficient capacity based on the current car ownership census data. They also confirmed that parking on the site will not be allocated to individual units. Given the nature of the scheme, its accessibility and reduced numbers of car-parking, it would not be reasonable to allocate spaces as this would prejudice their availability to all residents and visitors and would discourage the promotion of alternative, sustainable transport means.
5.106	The scheme also includes proposals for future proofing car-parking for greater EV car usage by providing suitable infrastructure (underground wiring and ducting etc.) to allow future charging points to be installed at a later date under Permitted Development Rights. It is noted that such a reduction in parking is also in line with recent city centre developments approved by the Planning Committee and will have environmental benefits in terms of improving air quality. Finally, and as noted above, the proposal includes a Travel Plan Framework which will promote reduced levels of car ownership and encourage more sustainable modes of transport.
5.107	Officers also note that the previous application LA04/2020/0067/F, which was refused by council and the subsequent appeal (reference 2020/A0107) was dismissed by the PAC, was not refused on grounds of lack of parking. With a total of 270no. residential units and 40no. parking spaces, this equated to a ratio of 0.15 spaces per unit which, together with a Travel Fund, was considered acceptable by officers and DfI Roads. Given that this application now proposes a higher ratio of 0.28 spaces per unit and is supported by additional information such as the parking survey noted above, this represents an improvement over that which was previously accepted.
5.108	DfI Roads has confirmed it is satisfied with the reduced level of parking provision providing that the supporting green travel measures are secured by way of Section 76 Planning Agreement, and having assessed the parking survey and census data, there are no concerns regarding parking outwith the site. Enforcement of illegal parking on public roads would be a matter for the PSNI. Taking account of all of the above, the council is satisfied that on balance the proposal complies with Policy TRAN8.
	<u>Access & transport summary</u>
5.109	DfI Roads are satisfied with the access arrangements, the level of parking proposed for vehicles and bicycles and support the green travel measures proposed. As such and for the reasons outlined above, subject to securement through a Section 76 Planning Agreement, the proposal complies with Policies SP4, SP7, TRAN1, TRAN2, TRAN4 and TRAN8.
	<u>Health impacts</u>
5.110	Policy SP3 requires new development to maximise opportunities to improve health and wellbeing. Policy HC1 seeks to ensure that all new developments maximise opportunities to promote healthy and active lifestyles. New developments should be designed, constructed and managed in ways that improve health and promote healthy lifestyles. This will include supporting active travel options, improving accessibility to local service centres, reducing the use of private car travel, adequate provision of public

	open space, leisure and recreation facilities, high quality design and promoting balanced communities and sustainable neighbourhoods.
5.111	As noted previously, the site is highly accessible and provides excellent opportunities for active travel, including walking and cycling through good linkages with the city centre and the River Lagan.
5.112	Active travel will be further encouraged through the travel plan and green measures proposed as part of the application. The site is within short walking distance of a number of areas of open space as well as local amenities.
5.113	Good levels of open space and amenity space are proposed in the form of the outdoor courtyards, landscaping and suitable public realm.
5.114	In terms of place making, the proposed building is considered to be of a high-quality design which would provide a pleasant living environment for residents, as well as enhancing the character and appearance of the surrounding area.
5.115	As such the proposal is considered to satisfy the requirements of Policies SP3 and HC1.
	<u>Environmental protection & climate change</u>
5.116	Policy ENV1 requires new development to maintain and, where possible, enhance environmental quality. Existing communities and the environment should be protected from materially harmful development, including consideration of ground contamination, air quality, water quality, noise and light pollution. Policy SP6 states that the council will support development where it helps to reduce greenhouse gas emissions and is adaptable in a changing climate to build environmental resilience. Policy ENV2 further reinforces this by requiring new development to incorporate measures to mitigate environmental change and reduce greenhouse gases by promoting sustainable patterns of development. Policy ENV3 states that planning permission will be granted for development that incorporates measures to adapt to environmental change. Policy ENV5 states that all built development shall include, where appropriate, SuDs measures to manage surface water effectively on site, to reduce surface water run-off and to ensure flooding is not increased elsewhere.
5.117	<p>In response to these the application has been accompanied by a suite of supporting information including:</p> <ul style="list-style-type: none"> • <i>Air Quality Impact Assessment</i> • <i>Contamination Report</i> • <i>Climate Change Statement</i> • <i>Flood Risk & Drainage Assessment</i> • <i>Waste Management Plan</i> • <i>Noise Impact Assessment</i>
5.118	Each of the above demonstrate that the proposal has been designed to incorporate a number of sustainable features which are welcomed, incorporating open space, building materials and good construction practices which are considered to help meet the objectives of Policy ENV2 (and parts of ENV3). Hard and soft landscaping elements at ground floor level will assist an overall sustainable drainage solution, whilst site levels have been designed to alleviate the flood risk from the development and maintain the safety of residents and their homes in the future. This is supported by the Flood Risk &

	<p>Drainage Assessment. The proposal will also include appropriate SuDs measures to manage surface water effectively on site, to reduce surface water run-off and to ensure flooding is not increased elsewhere. In particular, the following sustainable design features will be incorporated:</p> <ul style="list-style-type: none"> • <i>Ventilation – MVHR (Mechanical Ventilation and Heat Recovery) throughout,</i> • <i>Main Heating – Electric Heating (only) made up of a mixture of Storage and Panel Heaters,</i> • <i>Water Heating – Hot Water Cylinder with Immersion,</i> • <i>Renewables – 0.5kW PV Panels (1no. provided per unit),</i> • <i>Reduced Parking Provision – supported by Green Travel Fund,</i> • <i>Future provision for EV Vehicles – underground ducting and wiring to allow for simple above-ground charger installation in future; and</i> • <i>Sustainable Drainage – through open space areas and permeable material to the parking area</i>
5.119	<p>As part of its assessment of the above, the council has consulted with Environmental Health, DAERA (NIEA) and the BCC Waste Management Team, all of which have confirmed that the details provided in the submitted documents demonstrate that, subject to conditions and informatives, the proposal will not result in detrimental impact in terms of noise, air pollution, general amenity, ambient air quality, contaminated land, and other considerations. This includes both the impact of the proposal itself and the protection of new resident's amenity on account of the buildings' proximity to the adjoining railway line. The council is satisfied therefore that subject to such conditions and informatives, the proposal will comply with Policies ENV1, SP6, ENV2, ENV3 and ENV5.</p> <p><u>Flood risk & drainage</u></p>
5.120	<p>Policy ENV4 states that planning applications in flood risk areas must be accompanied by an assessment of the flood risk in the form of a Flood Risk Assessment (FRA). The council will have regard to guidance publications produced by other authorities and prospective developers/applicants are advised to liaise early in the formulation of their proposals with DfI Rivers to clarify flooding or flood plain issues that may affect particular sites. In all circumstances, the council will adopt a precautionary approach in assessing development proposals in areas that may be subject to flood risk presently or in the future as a result of environmental change predictions.</p>
5.121	<p>DfI Rivers has confirmed the details submitted are satisfactory. The site is not located within a flood plain, and there are no designated watercourses within the site. A portion of the sites' northern boundary does lie within an area of predicted pluvial flooding, however the submitted Drainage Assessment confirms that flood risk to and from a portion of the development will be managed by SuDS. DfI Rivers have no objection subject to informatives, however given that SuDS measures sit outside DfI Rivers directorate, a condition is attached to ensure that all sustainable measures are appropriately managed on the site. Subject to this, the proposal would accord with Policy ENV4.</p> <p><u>Waste-water infrastructure</u></p>
5.122	<p>Policy SP1a requires that necessary infrastructure is in place to support new development. NI Water has confirmed there is sufficient capacity at the Belfast Wastewater Treatment Works. Subject to conditions, there is no conflict with Policy SP1a.</p>

	<p><u>Waste management</u></p>
5.123	<p>In accordance with Policy RD1, new residential development should be provided with adequate space for daily segregation of recyclable materials and waste before it is moved to the communal waste storage area. The application is supported by a Waste Management Plan (WMP) which outlines the operational waste management measures, and the council has consulted with BCC's City & Neighbour Services Department, which has confirmed that on balance there are no objections. It is noted that the travel distance for bin stores 4 & 5 would slightly exceed the recommended 30m threshold for some units, with the majority measuring c35m or less and the furthest being 41.5m. This would be mitigated however by the fact that the stores are located on the way to the car park and therefore on a natural egress path from the building. Furthermore, it is noted that relocation of the bin stores to meet this threshold would prejudice the quality of soft landscaping and open space that would be delivered for residents, and in this instance a closer location would not outweigh the loss of such space. On balance therefore, it is considered that as proposed, the waste management plan and arrangements are acceptable, and in accordance with Policy RD1.</p>
	<p><u>Natural heritage</u></p>
5.124	<p>Policy NH1 relates to the protection of natural heritage resources. Policy TRE1 seeks to protect existing trees, particularly those that are of visual, biodiversity or amenity quality and significance. There will be a presumption in favour of retaining and safeguarding trees that make a valuable contribution to the environment and amenity.</p>
5.125	<p>There are no significant landscape features of natural heritage importance nor is the site located within any form of protected designation. An Ecology Survey has been undertaken, and detailed landscaping proposals have been submitted in support of the application. These clarify that the hard and soft landscaping areas will include proposed trees, shrubbery, hedging, (box) low mounding and grass areas for social interaction and outdoor enjoyment. In addition, approximately 45no. boundary trees will be planted along the south and west of the site to help with future screening and act as a natural visual buffer as the trees establish over time. The Ecology Report recommended mitigation measures including bat and swift boxes and there is a recognised biodiversity gain by the planting of landscaped garden areas.</p>
5.126	<p>The council has consulted with the BCC Tree Officer who has confirmed that when the proposed landscaping is established it will help with mitigating any potential aspects of overlooking, and integration into the surrounding urban fabric. The proposed wide species mix will offer pleasant seasonal contrasts and promote biodiversity with opportunities for local wildlife to thrive. SES and DAERA have also been consulted and confirmed there were no objections. Subject to planting and protection conditions, the proposed landscaping complies with Policies NH1 and TRE1 and the relevant provisions of SPPS.</p>
	<p><u>Employability & skills</u></p>
5.127	<p>The Developer Contribution Framework requires proposals to make a contribution towards Employability and Skills where necessary.</p>
5.128	<p>The Economic Development Unit advises that given the scale of the construction employment required to implement the proposal, together with current skills shortages, employability and skills related Developer Contributions are required in relation to the construction phase. Officers advise that an Employability and Skills Plan is required to</p>

	be submitted and implemented, and that this should be secured by way of a Section 76 planning agreement.
5.129	<p>Typical interventions in the Employability and Skills Plan may include:</p> <ul style="list-style-type: none"> • <i>Creating access to employment opportunities</i> • <i>Delivering training to upskill people</i> • <i>Creation and delivery of apprenticeship opportunities</i> • <i>Ring-fencing opportunities for under-represented groups</i> • <i>Delivery of employability interventions</i> • <i>Addressing barriers to employment and skills development</i> • <i>Delivery of youth interventions</i>
5.130	<p><u>Section 76 Planning Agreement</u></p> <p>If the application is approved, it should be subject to the finalisation of a Section 76 planning agreement to secure the following planning obligations. These are considered necessary to make the proposed development acceptable.</p> <ul style="list-style-type: none"> • Social housing – no less than 84 of the residential units constructed at the property shall be occupied as Social Housing Units. • Housing mix – unless otherwise agreed in writing by the council, 49no. of the Social Housing Units shall not be occupied unless as General Social Housing. 35no. of the Social Housing Units shall not be occupied unless as Category 1 over 55's accommodation. • Green travel measure – secure implementation of Travel Plan, Green Travel Measures fund (£202,737.00, index linked), and suitable redistribution of the Travel Fund if necessary. • Employability and Skills – requirement for the submission and implementation of a Construction Employability and Skills Plan. <p>A draft Section 76 planning agreement has been provided with the application and will need to be finalised before planning permission is granted.</p>
5.131	<p><u>Pre-application Community Consultation</u></p> <p>The application was preceded by a Proposal of Application Notice (PAN) which set out the applicant's proposals for pre-application community consultation. The application is accompanied by a mandatory Pre-application Community Consultation Report (PACC). The PACC report describes the comprehensive pre-application consultation undertaken by the applicant. The applicant actively sought the views of the public and stakeholders with regards to this development by utilising the following methods of engagement:</p> <ul style="list-style-type: none"> • Elected Representative & Community Group engagement: all elected representatives and community groups who received PAN notifications were invited to meet with the design team to discuss the proposal – November - December 2023 • Local community engagement: distribution of an informative letter to all homes and businesses within a 200m radius of the site re demolition of Havelock House – December 2023 & January 2024

	<ul style="list-style-type: none"> • Advertising: newspaper adverts containing details of the in-person consultation events, how to access the community consultation exhibition website and basic project information, and contact details for Community Consultation Manager – January 2024 • Neighbour notification: 400no. information packs hand delivered to residents and businesses identified within a 200m radius of the edge of the proposed development site, containing information leaflets, comment cards and information on both the in-person and online Pre-Application Community Consultation (PACC) process, the proposals and point of contact details for the Technical Team – January 2024 • Local Stakeholder Audit: carried out of all local businesses and organisations located within the immediate area of the site • Press coverage: press statement issued detailing the proposal, covered by local newspapers • Community Exhibition event: two in-person Pre-Application Community Consultation Events were held in The Gasworks Hotel and Donegall Pass Community Centre. The design team in both included the applicant, Clanmill Housing Association, planning consultants, communications consultants and architects. Comment cards were provided for feedback – January 2024 • Digital exhibition: virtual consultation website hosted specifically to all visitors to submit feedback, browse and download plans – January - February 2024
5.132	In addition to the statutory consultation period, additional meetings with elected representatives, community groups and local residents were also held between January and March 2024.
5.133	All feedback was reviewed, and the matters were considered within the PACC report, detailing how the feedback was gathered, analysed, assessed and considered.
5.134	The main areas of concern noted following community engagement were the height of the building, the number of one-bedroom units, the need for more family units and more Category 1 over 55s accommodation, lack of amenity space and anti-social issues. The applicant states that the feedback received through this process directly informed the evolution of the scheme's design.
5.135	Specifically, this has informed the scale, height and massing to ensure they are sufficient to avoid impact on neighbouring amenity by way of dominance, overlooking, overshadowing and loss of privacy, daylight and sunlight. These aspects have been fully considered in this report.
5.136	It also resulted in a significant reduction in the number one-bedroom units from 40no. to 25no., in addition to a more adequate distribution to avoid clustering and with the split of one-bedroom units being almost even across the two different needs group blocks. As a result, a more suitable mix of General Needs and Category 1 accommodation could subsequently be incorporated.
5.137	The applicant states that concerns regarding community relations and security were also taken fully on board, which have been considered previously in this report. The Statement of Community Involvement and Good Relations report further clarifies that

	<p>the scheme will have access to a full time Housing Officer, Scheme Coordinator, Caretaker (approx. 20 hrs per week), call out security and potentially an on-site property warden as and when required. It will also include full access control systems for each block, with 24hr internal and external CCTV systems.</p>
5.138	<p>Concerns were raised regarding the level of information provided at the pre-application consultation stage, however the information contained in the Pre-Community Consultation Report demonstrates that the applicant has carried out their duty under Section 27 of the Planning Act (NI) 2011 and Section 5 of The Planning (Development Management) Regulations (Northern Ireland) 2015 to consult the community in advance of submitting an application, and has adhered to council recommendations during the PAN process. The PACC report is considered acceptable.</p>
5.139	<p><u>Matters raised in representation</u></p> <p>All matters raised in representation have been fully considered throughout this assessment. For the purposes of clarity, these are summarised below and grouped by theme:</p> <ul style="list-style-type: none"> <p><i>Wrong form of development, inappropriate social housing, not social regeneration, high density, lack of retail use</i></p> <p>The principle of housing in this location is considered acceptable under the relevant strategic and housing policies, the SPPS and RDS. It would provide appropriate regeneration of a vacant site in a sustainable location through delivery of adaptable and accessible homes, with a housing density and mix that comply with policy requirements and provide an effective use for its location. Both officers and NIHE consider the proposed density, tenure and mix of affordable housing acceptable under policy and guidance, subject to Section 76 Planning Agreement.</p> <p>Provision of retail use is not a policy requirement, and as above the principle of housing in this location is considered acceptable. The application is located within close proximity of a variety of uses and is highly accessible. A lack of retail use would not justify refusal of an acceptable proposal that is otherwise policy compliant.</p> <p><i>Height, dominance, inappropriate design, high-rise development has been unsuccessful elsewhere</i></p> <p>The scale, mass and design of the proposal have been fully assessed under the relevant strategic, design and placemaking policies and SPG. With a maximum of 5 storeys fronting to Ormeau Road, the massing steps down to 3 storeys as one moves westward across the site, which is considered a suitable transition to ensure a respectful relationship to the adjacent residential context.</p> <p>Having regard for its massing and the separation distances between buildings, officers are satisfied that the proposal would not cause harm by way of dominance and would have less of an impact than that experienced from the previous Havelock House building.</p> <p>The design and external materials are considered sufficient to provide a high quality urban development that will respect its context and sit well within the streetscape.</p>

	<p>With a maximum height of 5 storeys to the front of the site, the proposal is not considered a tall building or high-rise development. Crucially it has fully considered and taken clear design cues from the height of surrounding buildings. It would provide an appropriate addition to the streetscape whilst avoiding detrimental impact on neighbouring residential properties.</p> <p>All aspects of form, height and design comply with the relevant policy requirements, and there are no material considerations in this instance that would outweigh this policy position or justify refusal of the application on these grounds.</p> <ul style="list-style-type: none"> • <i>Privacy impact, loss of light, overshadowing</i> <p>The supporting information provided has demonstrated that by way of its specific design and orientation, there would be no loss of privacy, sunlight or daylight, and no impact from overshadowing.</p> <p>Neighbouring properties are located a sufficient distance from the rear elevations of the proposed scheme, and with no windows to the rear gables combined with the retained and proposed boundary screening, there would be no overlooking of residential properties or private gardens.</p> <p>For the same reasons and having regard for the orientation of the site and the arc of the sun, there would be no direct loss of sunlight or daylight, and no overshadowing of neighbouring dwellings.</p> <p>All of the above have been demonstrated through supporting information, and officers are satisfied that they comply with policy. There has been no evidence presented that would contradict this position or prove that the proposal would cause demonstrable harm to residential amenity.</p> <ul style="list-style-type: none"> • <i>Lack of amenity space</i> <p>The proposed amenity space will provide a combination of high quality materials, hard and soft landscaping, which will provide an appropriate and pleasant residential environment. The amount of space provided is in line with policy requirements and therefore considered appropriate.</p> <p>Subject to conditions that will require the landscaping and public realm to be implemented as per the landscaping plan, it is considered acceptable and fully compliant with all recommended standards set out in policy and guidance.</p> <ul style="list-style-type: none"> • <i>Security, anti-social issues, crime, nuisance</i> <p>Security has been carefully considered through the design stage and there is no evidence that the scheme would give rise to unsatisfactory concerns regarding the deterrent of crime and personal safety.</p> <p>Full regard has been given to the site location and its relationship with surrounding areas and communities, and officers are satisfied that the proposed scheme is in line with policy and incorporates suitable secured by design principles, including a number of measures to enhance security and mitigate the potential for anti-social activity, crime or nuisance.</p>
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- **Noise impact, pollution, impact from construction & demolition**

The application was supported by a number of technical reports and assessments including a Noise Impact Assessment, Air Quality Impact Assessment, Demolition Justification Statement, Contamination Report, Climate Change Statement, Flood Risk and Drainage Assessment and Waste Management Plan.

BCC's Environmental Health Service has fully considered the proposed development in terms of noise, air pollution, general amenity, ambient air quality, contaminated land and other considerations.

In terms of air quality, suitable mitigation measures have been identified to ensure no impact through the development's construction phase. No ambient air quality concerns are identified regarding the operational phase.

In terms of noise and ventilation, a Verification Report shall be submitted to the council for approval, prior to occupation, which will ensure that all required rating levels are achieved and maintained thereafter.

In the event of contamination being encountered during works, a Remediation Strategy and Verification Report must be submitted for approval and implementation.

A further condition requires submission and approval of a Construction Noise and Vibration Management Plan, prior to the construction phase, to ensure that residential amenity is protected against any adverse impacts arising during construction in respect of noise, vibration and other environmental impacts.

The previous demolition of Havelock House is not relevant to this determination.

In conclusion, a number of specific conditions are attached to require the implementation of appropriate mitigation measures on site before, during and after construction to ensure that the amenity of the area will be suitably protected in all the aspects noted above. Subject to these, the proposal would comply with all policy requirements and technical guidelines, and there is no evidence to justify refusal on these grounds.

- **Impact on services, infrastructure, parking, traffic increase, noise & pollution**

As above, a number of supporting technical documents have been provided for consideration which have allowed these issues to be fully assessed by officers and through the consultation process with direct input from both statutory and non-statutory consultees.

In terms of existing services and infrastructure, DfI Roads, DfI Rivers, NI Water and Translink have all confirmed that subject to conditions and Section 76 Planning Agreement, the proposal can be successfully accommodated in this location without detrimental impact to servicing or requirement for additional infrastructure.

DfI Roads are also satisfied that the combination of reduced parking levels, promotion of green travel measures and utilisation of an appropriate travel fund

	<p>will ensure that traffic use within the site will not result in a detrimental impact by way of noise, pollution or air quality.</p> <p>BCC's Environmental Health Service have also assessed the proposal in terms of noise, air pollution, general amenity and ambient air quality, and confirmed that subject to conditions, the proposed specifications are in line with recommended guidelines and levels to mitigate any negative impact on residential amenity in the surrounding area.</p> <p>Subject to conditions and Planning Agreement, the proposal is found to accord with all relevant transport, infrastructure and environmental policies and guidance.</p> <ul style="list-style-type: none"> • <i>Community impact, community not engaged or heard</i> <p>The direct impact of the development on the wider community has been fully assessed. The Pre-application Community Consultation report clarifies the level of engagement that was undertaken with the community and how this has informed the overall design process.</p> <p>In terms of legislative requirements, the applicant has met their duty under Section 27 of the Planning Act (NI) 2011 and Section 5 of The Planning (Development Management) Regulations (Northern Ireland) 2015 to consult the community in advance of submitting an application and adhered to council recommendations during the PAN process. This included the required opportunities for the local community to register opinions and feedback on the scheme through various means of communication and engagement.</p> <p>The scheme has evolved throughout the design process to specifically take account of the feedback received during the consultation process with a number of welcomed revisions as a result. Officers are satisfied that each area of concern has been fully considered and satisfactorily addressed, as assessed in this report.</p> <ul style="list-style-type: none"> • <i>Mental health impact, human rights, distribution of homes via NIHE</i> <p>It is acknowledged that any new development can have an impact on neighbouring communities by way of construction noise, disturbance and pollution which in turn can impact mental health. That being said, as noted above officers are satisfied that all impacts of both the construction and operational phases of the scheme have been fully considered and suitable mitigation measures will be implemented to minimise any negative impact.</p> <p>Whilst an element of disruption may be inevitable as a result of construction, this would be short-term and would be typical of delivering any new major development. Crucially, the long-term impacts have been assessed and are considered to be within appropriate levels and in line with all relevant policy and guidelines, and the applicant has met their legislative duty in all relevant aspects. On that basis there is no evidence that the human rights of any individual would be affected.</p> <p>The distribution of homes through the NIHE waiting list or priority list is not a material planning consideration. The concerns are noted; however, they can have no influence on the determination of this application, which has been</p>
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	<p>assessed under the Belfast Local Development Plan and all material considerations.</p> <ul style="list-style-type: none"> • Other considerations <p>As noted previously in this report, 2no. representations registered objections to the proposal without clarifying which areas they were opposed to. Nonetheless, all aspects of the proposal have been fully considered, including all concerns noted in other objections, and the proposal is found to comply with all relevant policy and guidance, subject to conditions and Section 76 Planning Agreement.</p> <p>The support of social housing and density noted in representation is welcomed.</p>
6.0	Recommendation
6.1	The proposal will result in the regeneration of a brownfield site and a significant number of affordable homes in a highly sustainable location which would support city centre living, in line with the Belfast Agenda and the LDP Plan Strategy.
6.2	It would make very effective use of land, a finite resource within the city centre, whilst the provision of social housing responds to the significant unmet need for social housing in Belfast. The scale, height, massing and design of the building are considered appropriate to the site's context, and the approach to green travel is acceptable. The proposal would not have a harmful impact in respect of other land-use planning considerations. All statutory and non-statutory consultees have confirmed their support for the proposal, with all previous concerns being suitably addressed by the applicant through appropriate revisions, mitigation measures, Section 76 Planning Agreement and attached conditions.
6.3	The proposal has been fully assessed against the Belfast Local Development Plan, Plan Strategy policies SP1, SP1a, SP2 SP3, SP4, SP5, SP6, SP7, SD2, HOU1, HOU2, HOU4, HOU5, HOU6, HOU7, DES1, DES2, RD1, CGR1, BH1, BH4, BH5, HC1, TRAN1, TRAN2, TRAN4, TRAN8, ENV1, ENV2, ENV3, ENV4, ENV5, OS3, NH1, TRE1, all relevant Supplementary Planning Guidance, Creating Places and the relevant provisions of the SPPS and RDS. Taking account of these and all relevant material considerations, the proposal is considered on balance to be acceptable, subject to conditions and Section 76 Planning Agreement.
6.4	Full consideration has been given to all matters raised in representation, and officers are satisfied that these have been suitably addressed by way of the revisions made to the proposal, and subject to Section 76 Planning Agreement and appropriate conditions. Due regard has been given to all concerns received, however in this instance they would neither outweigh the above policy position nor justify refusal of the application.
6.5	It is recommended that planning permission is granted subject to conditions and a Section 76 Planning Agreement to secure the details noted previously. It is requested that delegated authority is given to the Director of Planning and Building Control to finalise the wording of conditions and the Section 76 Planning Agreement, and deal with any other matters that may arise, provided that they are not substantive.

7.0	<p>DRAFT CONDITIONS</p> <p>Time implementation</p> <p>1. The development hereby permitted must be begun within five years from the date of this permission.</p> <p>Reason: As required by Section 61 of the Planning Act (Northern Ireland) 2011</p> <p>Waste</p> <p>2. The development hereby permitted shall not be occupied until the waste storage areas have been provided in accordance with the approved plans and shall be permanently retained as such at all times.</p> <p>Reason: To ensure that appropriate provision is made for storage and disposal of waste</p> <p>Climate change</p> <p>3. The development hereby permitted shall not be occupied until the sustainability measures set out in the Flood Risk Assessment and Drainage Strategy, dated March 2024, have been constructed and installed and independent written verification of such as been submitted to and approved in writing by the Council.</p> <p>Reason: To ensure that the proposal incorporates appropriate measures to mitigate and adapt to climate change.</p> <p>External finishes</p> <p>4. No external facing panels or materials shall be constructed or applied unless in accordance with a written specification and a physical sample panel, details of which shall have first been submitted to and approved in writing by the Council. The sample panel shall be provided on site and made available for inspection by the Council for the duration of the construction works. The sample panel shall show the make, type, size, colour, bond, pointing, coursing, jointing, profile and texture of the external facing materials.</p> <p>Reason: In the interests of the character and appearance of the area.</p> <p>Trees & landscaping</p> <p>5. All trees and planting within the site shall be retained unless shown on the approved drawings as being removed. Any retained trees or planting indicated on the approved drawings which become seriously damaged, diseased, or dying, shall be replaced during the next planting season (October to March inclusive) with other trees or plants of a location, species and size to be first approved in writing by the Council.</p> <p>Reason: In the interests of visual amenity.</p> <p>6. All hard and soft landscaping works shall be carried out in accordance with the approved details. The works shall be carried out prior to the occupation of any part of the development unless otherwise agreed in writing by the Council. Any existing or proposed trees or plants indicated on the approved plans which, within a period of five years from the date of planting, die, are removed or become seriously damaged, diseased or dying shall be replaced during the next planting season with other trees or plants of a location, species and size, details</p>
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of which shall have first been submitted to and approved in writing by the Council. All hard surface treatment of open parts of the site shall be permeable or drained to a permeable area. All hard landscape works shall be permanently retained in accordance with the approved details.

Reason: In the interests of the character and appearance of the area.

7. Prior to any work commencing all protective barriers (fencing) and ground protection shall be erected and installed as specified in British Standard 5837: 2012 (section 6.2) on any trees / hedging to be retained within the site and must be in place before any materials or machinery are brought onto site for demolition, development, or soil stripping. Protective fencing must remain in place until all work is completed, and all associated materials and equipment are removed from site.

Reason: To ensure the protection of, and to ensure the continuity of amenity afforded by any existing trees to be retained within the site and on adjacent lands.

8. No storage of materials, parking of vehicles or plant, temporary buildings, sheds, offices or fires within the Root Protection Area of trees within the site and adjacent lands during the construction period.

Reason: To safeguard trees of amenity and biodiversity value.

Roads

9. The development hereby permitted shall not be occupied until hard surfaced areas have been constructed and permanently marked in accordance with the approved drawing, to provide for parking and traffic circulation within the site. No part of these hard surfaced areas shall be used for any purpose at any time other than for the parking and movement of vehicles in connection with the approved development. The parking shall be made freely available without charge to residents of this development.

Reason: To ensure adequate provision has been made for parking and traffic circulation within the site.

10. The access gradient shall not exceed 4% (1 in 25) over the first 10m outside the road boundary. Where the vehicular access crosses a footway or verge, the access gradient shall be between 4% (1 in 25) maximum and 2.5% (1 in 40) minimum and shall be formed so that there is no abrupt change of slope along the footway.

Reason: To ensure there is a satisfactory means of access in the interests of road safety and the convenience of road users.

11. All redundant accesses from the site to the public road shall be permanently closed off and the footpath reinstated in accordance with the approved plans.

Reason: In order to minimise the number of access points on to the public road in the interests of road safety and the convenience of road users.

12. The development hereby permitted shall not be occupied until a give way triangle and give way lines have been permanently marked on Coyle's Place in accordance with the approved drawing numbered by Planning Service 04A on 18/11/24.

Reason: In the interests of road safety.

13. The development shall operate in accordance with the Service Management Plan.

Reason: In the interests of road safety and the convenience of road users.

14. The development hereby permitted shall not be occupied until the secure cycle storage area has been provided in accordance with the approved plans and shall be permanently retained as such at all times.

Reason: To ensure acceptable cycle parking facilities on the site and promote active travel and to mitigate the absence of dedicated parking within the development.

Environmental Health

15. If during the carrying out of the development, new contamination is encountered that has not previously been identified, all related development works shall cease, and the Council shall be notified immediately in writing. No further related development works shall proceed until this new contamination has been fully investigated in accordance with current Environment Agency and CIRIA guidance and British Standards. In the event of unacceptable human health risks being identified, a Remediation Strategy shall be submitted to and agreed in writing by the Council. The Remediation Strategy shall be implemented and subsequently a Verification Report shall be submitted to and agreed in writing by the Council prior to the development being occupied or operated. The Verification Report shall be completed by competent persons and demonstrate the successful completion of the remediation works and that the site is now fit for end-use. The Verification Report shall be in accordance with current Environment Agency and CIRIA guidance and British standards.

Reason: To ensure that any contamination within the site is appropriately dealt with, in the interests of human health.

16. Prior to occupation of the development, a Verification Report shall be submitted to and approved in writing by the Council, which demonstrates that the Rating Level (dB LAr) of sound from all combined plant and equipment associated with the development does not exceed the background sound level (for both daytime and night time hours) at sound sensitive residential premises when determined in accordance with the assessment methodology outlined in BS4142:2014+A1:2019 - Methods for rating and assessing industrial and commercial sound. The approved Rating Level (dB LAr) shall be maintained at that level, or below, thereafter.

Reason: Protection of residential amenity.

17. Prior to occupation of the development, the noise mitigation measures and alternative means of acoustically attenuated ventilation (in addition to that

provided by open windows) as specified within the submitted RPS Memo, Havelock House, Belfast, dated 28/11/2024 (Tables 10 and 11) shall be installed within habitable rooms of the development and retained at all times.

Reason: To safeguard the amenity of occupants of the building hereby approved.

18. Prior to commencement of the construction phase of the development, a Construction Noise and Vibration Management Plan (CNVMP) shall be submitted to and approved in writing by the Council. The CNVMP shall specify measures to control and minimise noise and vibration impacts during the construction phase. The CNVMP shall include rationale for and details of the chosen piling methodology and must pay regard to Parts 1 and 2 of BS 5228:2009+A1:2014 Code of practice for noise and vibration control on construction and open sites and demonstrate the use of 'best practicable means'. The CNVMP must be implemented as agreed on commencement and during the construction phase and the associated records shall be made available to the Council at any time upon request.

Reason: Protection of residential amenity against adverse construction impacts.

NI Water

19. Notwithstanding the submitted details, no development shall commence on site (other than site clearance, site preparation, demolition and the formation of foundations and trenches) unless details of foul and surface water drainage, including a programme for implementation of these works, have been submitted to and approved in writing by the Council. The development shall not be carried out unless in accordance with the approved details, which shall be retained as such thereafter.

Reason: To ensure appropriate foul and surface water drainage of the site. Approval is required upfront because the design of the drainage is an integral part of the development and its acceptability.

DAERA Regulation Unit

20. No piling shall be undertaken unless a piling risk assessment, carried out in full accordance with the methodology contained within the Environment Agency document on "Piling and Penetrative Ground Improvement Methods on Land Affected by Contamination: Guidance on Pollution Prevention", has been submitted to and approved in writing by the Council. The methodology is available at:
<https://webarchive.nationalarchives.gov.uk/ukgwa/20140329082415/http://cdn.environment-agency.gov.uk/scho0501bitt-e-e.pdf>.

No piling shall take place unless in accordance with the approved piling risk assessment.

Reason: Protection of environmental receptors to ensure the site is suitable for use.

21. If during the development works, new contamination or risks are encountered which have not previously been identified, works should cease, and the Council should be notified immediately in writing. This new contamination shall be fully investigated in accordance with the Land Contamination: Risk Management

(LCRM) guidance. In the event of unacceptable risks being identified, a Remediation Strategy shall be submitted to and approved in writing by the Council, and subsequently implemented. This strategy should be completed by competent persons in accordance with the Land Contamination: Risk Management (LCRM) guidance available at: <https://www.gov.uk/guidance/land-contamination-how-to-manage-the-risks>.

Reason: Protection of environmental receptors to ensure the site is suitable for use.

22. After completing any required remediation works required by condition 21, and prior to occupation of the development, a Verification Report shall be submitted to and approved in writing by the Council. This report should be completed by competent persons in accordance with the Land Contamination: Risk Management (LCRM) guidance. The Verification Report should present all the remediation and monitoring works undertaken and demonstrate the effectiveness of the works in managing all the development wastes and risks and achieving the remedial objectives.

Reason: Protection of environmental receptors to ensure the site is suitable for use.

Informatives

Section 76 planning agreement

1. This planning permission is subject to a planning agreement under Section 76 of the Planning Act (Northern Ireland) 2011. This decision should be read in conjunction with the planning agreement, which secures the following planning obligations:
 - **Social housing** – no less than 84 of the residential units constructed at the property shall be occupied as Social Housing Units.
 - **Housing mix** – unless otherwise agreed in writing by the council, 49no. of the Social Housing Units shall not be occupied unless as General Social Housing. 35no. of the Social Housing Units shall not be occupied unless as Category 1 over 55's accommodation.
 - **Green travel measure** – secure implementation of Travel Plan, Green Travel Measures fund (£202,737.00, index linked), and suitable redistribution of the Travel Fund if necessary.
 - **Employability and Skills** – requirement for the submission and implementation of a Construction Employability and Skills Plan.

Compliance with planning permission

2. Please make sure that you carry out the development in accordance with the approved plans and any planning conditions listed above. Failure to do so will mean that the proposal is unauthorised and liable for investigation by the Council's Planning Enforcement team. If you would like advice about how to

comply with the planning permission, you are advised to contact the Planning Service at Belfast City Council at planning@belfastcity.gov.uk.

Discharge of condition(s)

3. This planning permission includes condition(s) which require further details to be submitted to and approved by the Council. Please read the condition(s) carefully so that you know when this information needs to be provided and approved. It could take a minimum of 8 weeks for the Council to approve the details, assuming that they are satisfactory, and sometimes longer depending on the complexity of the condition. You should allow for this when planning the timeline of your project.

Non-planning requirements

4. The grant of planning permission does not dispense with the need to obtain licenses, authorisations may have been identified by consultees in their response to the application and can be accessed on the Northern Ireland Planning Portal website. The responses from consultees may also include other general advice for the benefit of the applicant or developer. consents or permissions under other legislation or protocols.

Protected Species

5. The applicant or developer's attention is drawn to The Conservation (Natural Habitats, etc) Regulations (Northern Ireland) 1995 (as amended), under which it is an offence to:
 - a) Deliberately capture, injure or kill a wild animal including a European protected species, which includes all species of bat;
 - b) Deliberately disturb such an animal while it is occupying a structure or place which it uses for shelter or protection;
 - c) Deliberately disturb such an animal in such a way as to be likely to:
 - (i) affect the local distribution or abundance of the species to which it belongs;
 - (ii) Impair its ability to survive, breed or reproduce, or rear or care for its young; or
 - (iii) Impair its ability to hibernate or migrate;
 - d) Deliberately obstruct access to a breeding site or resting place of such an animal; or
 - e) To damage or destroy a breeding site or resting place of such an animal.

If there is evidence of bat activity / roosts on the site, all works should cease immediately and further advice sought from the Wildlife Inspector's Team, Northern Ireland Environment Agency, Klondyke Building, Cromac Avenue, Gasworks Business Park, Belfast BT72JA. Tel. 028 9056 9605.

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Regional Planning Governance & Legislation

Mr Ed Baker
Belfast Planning Service
Belfast City Council
4-10 Linenhall Street
BELFAST
BT2 8BP
BakerE@BelfastCity.gov.uk

James House
2-4 Cromac Avenue
The Gasworks
BELFAST
BT7 2JA

Tel: 0300 200 7830

Email: rosemary.daly@infrastructure-ni.gov.uk
julie.maroadi@infrastructure-ni.gov.uk

Your Ref: LA04/2024/0626/F

Our Ref: DfIPG 059/25

03 October 2025

Dear Mr Baker

**PLANNING ACT (NORTHERN IRELAND) 2011
THE PLANNING (GENERAL DEVELOPMENT PROCEDURE) ORDER (NORTHERN
IRELAND) 2015**

**PLANNING APPLICATION LA04/2024/0626/F:- ERECTION OF 104NO. SOCIAL
RENTED RESIDENTIAL UNITS (COMPRISING A MIX OF GENERAL SOCIAL
HOUSING AND CATEGORY 1 OVER 55'S ACCOMMODATION) ACROSS TWO
DETACHED BLOCKS [RANGING BETWEEN 3 AND 5 STOREYS], LANDSCAPING,
COMMUNAL AND PRIVATE AMENITY SPACE, ANCILLARY CYCLE AND CAR
PARKING PROVISION, AND OTHER ASSOCIATED SITE WORKS AT
1 HAVELOCK HOUSE HAVELOCK PLACE, ORMEAU, BELFAST, BT7 1EB**

I refer to the Article 17 Direction issued by the Department, on 25 March 2025, in relation to the above planning application, preventing your council from granting permission until further advised.

After careful consideration, it has been concluded that the above application does not raise issues of such importance that their impact is considered to extend to a sub-regional or regional level, and the circumstances of this case are not exceptional such as to warrant the use of the Department's 'call in' power under section 29 of the Planning

E-mail: planning@infrastructure-ni.gov.uk

Website: www.infrastructure-ni.gov.uk/topics/planning

Act (Northern Ireland) 2011. The Minister has therefore decided that application LA04/2024/0626/F will not be referred to the Department for determination and Belfast City Council can continue to process the application accordingly.

Whilst planning application LA04/2024/0626/F does not warrant referral, I wish to emphasise that the future delivery of social housing remains an important matter. Furthermore, given the council's own evidence that several mono-tenure social housing applications have been approved since the adoption of its Plan Strategy, it is recommended that the council perhaps reviews the implementation, to date, of Policy HOU5, at the next available opportunity. Such a review would help ensure that your council's housing policy is being applied effectively within the plan-led system. Additionally, it is advised that Belfast City Council engages closely with the Northern Ireland Housing Executive on the issue of housing need and on promoting mixed tenure developments, which are key to supporting sustainable development.

ROSEMARY DALY
Chief Planner & Director

ADDENDUM REPORT	
Committee Date: 11 th November 2025	
Application ID: LA04/2024/1576/F	
Proposal: Demolition of existing buildings at no. 733 & no. 735 Antrim Road to facilitate proposed residential social housing development comprising of 2no. buildings containing 34no. units with associated in-curtilage parking and landscaping (Amended description)	Location: 733-735 Antrim Road, Belfast BT15 4EL
Referral Route: Scheme is for over 12 units and objections received which conflict with officer recommendation to approve	
Recommendation: Approval subject to conditions and Section 76 planning agreement	
Applicant Name and Address: Mr J Ogle S4S Developments Ltd 17A Cullenfad Road Dungannon	Agent Name and Address: Mr P Turley 15 Ravenhill Road Belfast
Date Valid: 18 th September 2024	
Target Date: 1 st January 2025	
Contact Officer: Ed Baker, Planning Manager (Development Management)	
<p>Background:</p> <p>This application was approved by the Committee at its 14th October 2025 meeting. The Committee granted planning permission, subject to conditions and a Section 76 planning agreement and delegated authority to the Director of Planning and Building Control to finalise the wording of conditions, and to deal with any other matters that might arise provided that they were not substantive.</p> <p>The decision has yet to issue because the Section 76 planning agreement is in the process of being executed. Moreover, further the October Committee meeting, NI Water has rejected the applicant's Waste Water Impact Assessment. The applicant states that they are therefore unable to accept condition 24 recommended in the original report to the October Committee meeting, appended, that requires submission and approval of details of foul and surface water drainage prior to commencement of development.</p> <p>The application is therefore brought back to the Committee so that it can consider the removal of or amendment to condition 24.</p> <p>This report should be read in conjunction with the original report to the October Committee, appended.</p>	

NI Water advice prior to the October Committee:

As set out in the report to the October Committee, NI Water objects to the application on grounds of insufficient network capacity to deal with waste-water.

NI Water provided further advice prior to the October Committee meeting. Officers reported that NI Water notes that there is currently no extant permission on the site; therefore its position remains. NI Water re-iterated that the waste-water treatment plant does have capacity, however, the issue is downstream waste-water network capacity. Notwithstanding, NI Water believes that subject to further engagement with the developer, there is a solution.

NI Water expects that the solution will result from the proposed development itself through storm-water off-setting. The site currently contains large houses with large hard-standings. It's probable that storm-water currently discharges to the combined sewer network. The developer proposes a dedicated storm-water outlet to separate and foul and surface water drainage. This approach is subject to the developer submitting a Waste Water Impact Assessment.

NI Water went on to say that it assumes that planning permission will be conditional on further engagement with the developer and a solution being agreed prior to the development progressing.

Officers advised that draft condition 24 requires details of foul and surface water drainage to be submitted to and approved by the Council prior to commencement of development.

NI Water rejection of Waste Water Impact Assessment:

Following the decision of the Committee to grant planning permission, the applicant submitted a Waste Water Impact Assessment (WWIA) on 17th October to NI Water. This had been informed by dye trace testing carried out by the applicant to prove that the storm run-off from the two existing houses on the site was going to the combined sewer as had been suggested by NI Water.

The applicant states that NI Water issued its response to the WWIA on 24th October, rejecting the proposal. The applicant reports in its response, NI Water confirmed that, due to the high polluting nature of assets with potential to pollute the environment, there were no tactical solutions available under the waste water impact assessment process than can be developer delivered in order to permit this site to achieve a connection. The applicant has subsequently been in discussion with NI Water, highlighting that its response to the WWIA contradicted the advice provided by NI Water to the Council prior to the Committee, which stated that it believed that a solution could be found.

The applicant reports that NI Water responded, confirming that following submission of the WWIA, it completed a more in-depth review of the sewer network and found that the matter was more complicated than initially thought. NI Water would now be looking at the matter in depth and require operational colleagues to input into the investigation to confirm connectivity. NI Water told the applicant that this investigation will take time; applicant has suggested to officers that this process could take several months.

Applicant's proposed removal of condition 24:

The applicant asks that this matter be brought before the Committee in order that consideration is given to the removal of this condition. Given that the applicant is no longer able to accept draft condition 24, officers advise that it is appropriate to report the application back to the Committee.

The applicant cites the following factors in justifying the removal of condition 24:

- The previous advice given to the Council by NI Water which indicated that it believed that a solution will occur as a result of the development;
- The planning history of the site (set out in the original report to the October Committee), where planning permission was previously granted for 34 apartments (no longer extant) and a live un-determined application to renew that original permission to which NI Water offered no objection. The applicant states that the only reason why this application has not progressed to a decision is because the Section 76 planning agreement could not be completed due to a land ownership issue;
- The proposal is for a 100% social housing scheme in the north of the city where there is significant unmet social housing need and a very short supply of new social housing. The scheme is on the Social Housing Development Programme for 2025/26 and delivery in conjunction with Radius Housing Association is within the current financial year. The applicant is concerned that imposition of condition 24 would threaten delivery;
- The applicant's own site investigation and report from its drainage consultant, Foyle Consulting, which demonstrates that by carrying out storm water off-setting inside the site as suggested by NI Water, there will be no negative impact on the capacity of the NI Water combined sewer network caused by the connection of the proposed 34 apartments.

The consultant's report states that dye tracing was undertaken in respect of No. 733 Antrim Road. This established that run-off from both the roof and large areas of impermeable surfacing all drained to a combined sewer. A significant volume of surface water run-off from the existing site is currently entering NI Water's combined sewer network. Investigations of surface water run-off in respect of the area around No. 735 Antrim Road have been postponed due to the plot being overgrown. However, drainage from its roof area have been considered by the consultant.

According to its calculations, the consultant considers that it is demonstrated that the proposed storm-water off-setting inside the site will have no negative impact on NI Water's combined sewer network. It advises that its calculations have been conservative, omitting areas of existing impermeable surfacing on the site not yet proven to drain to the combined system. The consultant says that the methodology has been carried out applying NI Water standard practice and based on worst-case scenario of the downstream combined sewer failing to pass the relevant test.

Officers have no reason to dispute the technical findings of the applicant's consultant.

The Planning Service has asked NI Water to provide its updated position, including its position on the WWIA, but has yet to respond. Given the previously stated position of NI Water, and for the reasons set out in the original Committee report, it is recommended that condition 24 remains.

Recommendation:

Having regard to the Development Plan and material considerations, it is recommended that planning permission is granted subject to conditions and a Section 76 planning agreement.

Delegated authority is sought for the Director of Planning and Building Control to finalise the wording of the conditions and Section 76 planning agreement, and deal with any other matters that arise, provided that they are not substantive.

Development Management Report

Summary	
Committee Date: 14 th October 2025	
Application ID: LA04/2024/1576/F	
Proposal: Demolition of existing buildings at no. 733 & no. 735 Antrim Road to facilitate proposed residential social housing development comprising of 2no. buildings containing 34no. units with associated in-curtilage parking and landscaping (Amended description)	Location: 733-735 Antrim Road, Belfast BT15 4EL
Referral Route: Scheme is for over 12 units and objections received which conflict with officer recommendation to approve	
Recommendation: Approval subject to conditions and Section 76 planning agreement	
Applicant Name and Address: Mr J Ogle S4S Developments Ltd 17A Cullenfad Road Dungannon	Agent Name and Address: Mr P Turley 15 Ravenhill Road Belfast
Date Valid: 18 th September 2024	
Target Date: 1 st January 2025	
Contact Officer: Ed Baker, Planning Manager (Development Management)	
Executive Summary: <p>The application proposes the construction of 34no. residential units, comprising 4no. 2p/1b wheelchair apartments & 30no. 3p/2b apartments. The proposal is for 100% social housing and intended to provide some Category 1 (over 55s) accommodation.</p> <p>The proposed development would comprise two detached blocks, ranging in height from 4 storeys along the Antrim Road elevation, stepping down to 3 storeys to the rear in one block at a lower level, and 4 storeys in the other, also at a lower level. The scheme also includes in-curtilage parking, communal amenity provision and landscaping. There are 34 car parking spaces (4 of which are for disabled user parking) within the site, including undercroft parking in Block B, cycle parking and associated works.</p> <p>The key issues for consideration of the application are set out below.</p> <ul style="list-style-type: none"> • Principle of housing in this location • Housing density • Affordable housing • Housing mix • Adaptable and accessible accommodation • Design and Placemaking • Impact on amenity 	

- Flood risk and drainage
- Waste-water infrastructure
- Climate change
- Access and transport
- Health impacts
- Environmental protection
- Natural heritage
- Trees and landscaping
- Waste management
- Section 76 planning agreement

In the Belfast Urban Area Plan 2001 (BUAP 2001), the site is un-zoned “white land”.

In the draft Belfast Metropolitan Area Plan 2015 (dBMAP) (versions 2004 and 2014), the site is also located within un-zoned “white land”. The site is nearby to Inisfayle Area of Townscape Character and between two sections of the Castle/Fortwilliam Local Landscape Policy Area (LLPA) but not within either.

The site previously benefited from planning permission for apartments, although the permission has now lapsed. There is undetermined application for renewal of that previous permission.

The site is considered a suitable and sustainable location for housing; the proposal would make effective use of previously developed land for residential use in an accessible location.

The provision of 34 social housing units that respond to local housing need is welcomed.

Following negotiations and amendments, the design of the scheme is considered to be of good quality and appropriate to its context, with no negative impact on neighbouring residential amenity.

The proposed access and parking arrangements are acceptable.

NIHE is supportive of the on-site social housing proposals. NI Water objects to the proposal on grounds of insufficient network capacity; further information relating to the planning history of the site has been provided to NI Water and its further advice is awaited. No objections have been received from other statutory consultations, subject to conditions, informatives and Section 76 planning agreement.

There are no objections from non-statutory consultees.

Following advertisement in the local press as well as neighbour notification, 22 letters of objection have been received from local residents themselves or planning agents on their behalf, raising issues which are detailed in the main report.

The Section 76 planning agreement required to secure the development as 100% social housing, travel plan and green travel measures has been agreed in principle.

The Committee undertook a pre-emptive site visit on 23rd September 2025.

Recommendation

Having regard to the Development Plan and material considerations, it is recommended that planning permission is granted subject to conditions and a Section 76 planning agreement.

Delegated authority is sought for the Director of Planning and Building Control to finalise the wording of the conditions and Section 76 planning agreement, and deal with any other matters that arise including the further consultation response from NI Water, provided that they are not substantive.

Site Location Plan:



[illegible]

Contextual street-scene:

The drawing illustrates a street scene with three main buildings. On the left is 'No. 737B'. In the center is 'Block B - plots 18 - 34', which is highlighted with a dashed red outline. To its right is 'Block A - plots 01 - 17', also with a dashed red outline. Further right is '1-15 DOWNVIEW MANOR'. The drawing includes various annotations such as 'New boundary wall with existing screen height', 'Existing screen boundary planting retained as per landscape planting plan and reinforced with additional planting', and 'New residential landscaping planting (screen species) to respect existing character of the area and as per landscape architect planting plan'. A scale bar at the bottom indicates distances in meters (0, 10, 20, 30, 40, 50, 60, 70, 80, 90, 100).

Street elevation:

Block A:

The architectural drawings for Block A consist of four elevations, each with detailed dimensions and level markers. Elevation 01 (top right) shows a three-story building with a gabled roof, a central entrance, and a balcony. Elevation 02 (top left) shows a three-story building with a gabled roof, a central entrance, and a balcony. Elevation 03 (bottom right) shows a three-story building with a gabled roof, a central entrance, and a balcony. Elevation 04 (bottom left) shows a three-story building with a gabled roof, a central entrance, and a balcony. Each elevation includes a series of horizontal and vertical dimension lines with numerical values, and level markers (e.g., FFL, EAVES, RIDGE) with corresponding elevations.

Elevation 01

Elevation 02

Elevation 03

Elevation 04

Block B:



Elevation 01



Elevation 02



Elevation 03



Elevation 04

1.0

Characteristics of the Site and Area

1.1

The site fronts onto Antrim Road and currently comprises two detached vacant dwellings, and measures approximately 0.45 hectares. An existing access to existing dwellings at 733a and 733b Antrim Road to the rear runs through the middle of the site. The site slopes downwards to the rear (east). The site is defined by a mix of walls, fencing, trees and mature vegetation.

1.2

The surrounding area comprises a mix of uses including residential, recreational and some commercial. Dwellings are a mix of large detached and semi-detached with some apartments nearby also.

Description of Proposed Development

1.3

The application seeks full planning permission for the demolition of existing buildings at no. 733 & no. 735 Antrim Road to facilitate proposed residential (social housing) development comprising of 2no. buildings containing 34no. units (4no. 2p/1b wheelchair apartments & 30no. 3p/2b apartments with associated in-curtilage parking and landscaping. The proposal is for 100% social housing and intended to provide some Category 1 (over 55s) accommodation.

1.4

The scheme also includes, communal amenity provision and landscaping, 34 car parking spaces (4 of which are for disabled user parking) within the site, including undercroft parking in Block B, cycle parking and associated works.

1.5

The Committee undertook a pre-emptive site visit on 23rd September 2025.

<p>2.0</p> <p>2.1</p> <p>2.2</p> <p>2.3</p>	<p>Relevant Planning History</p> <p>Z/2008/1469/F – Erection of 4No. semi detached houses and 34No. apartments (in 2 blocks), basement car parking, access road and associated site works. (Amended Scheme) - 733, 733a, 733b and 735 Antrim Road – Approved 07/09/09</p> <p>Z/2014/1083/F - 4 semi detached houses, 34 apartments, basement car park, access road and associated site works (additional plans) – 733, 733a, 733b and 735 Antrim Road – Approved 16/05/17 (the site is larger than the site of the current application, also including Nos. 733a and 733b at the rear).</p> <p>LA04/2022/1863/F - Renewal of previous approval Z/2014/1083/F for 4 semi detached houses, 34 apartments, basement car park, access road and associated site works (additional information) – under assessment.</p>
<p>3.0</p> <p>3.1</p>	<p>PLANNING POLICY</p> <p>Development Plan – local development plan</p> <p><u>Belfast Local Development Plan, Plan Strategy 2035</u></p> <p><i>Strategic Policies:</i></p> <p>Policy SP1A: Managing growth and supporting infrastructure delivery Policy SP2: Sustainable development Policy SP3: Improving health and wellbeing Policy SP5: Positive placemaking Policy SP6: Environmental resilience Policy SP7: Connectivity Policy SD2: Settlement Areas</p> <p><i>Operational Policies:</i></p> <p>Policy HOU1: Accommodating new homes Policy HOU4: Density of residential development Policy HOU5: Affordable housing Policy HOU6: Housing Mix Policy HOU7: Adaptable and accessible accommodation</p> <p>Policy DES1: Principles of urban design Policy RD1: New residential developments Policy TRAN1: Active travel – walking and cycling Policy TRAN 2: Creating an accessible environment Policy TRAN4: Travel plan Policy TRAN6: Access to public roads Policy TRAN8: Car parking and servicing arrangements</p> <p>Policy ENV1: Environmental quality Policy ENV2: Mitigating environmental change Policy ENV3: Adapting to environmental change Policy ENV4: Flood Risk Policy ENV5: Sustainable drainage systems (SuDS)</p> <p>Policy HC1: Promoting healthy communities</p>

	<p>Policy OS3: Ancillary open space Policy TRE1: Trees Policy NH1: Protection of natural heritage resources</p> <p><u>Supplementary Planning Guidance</u></p> <p>Affordable Housing & Housing Mix Residential Design Placemaking & Urban Design Sustainable Urban Drainage Systems Transportation</p>
3.2	<p>Development Plan – zoning, designations and proposals maps Belfast Urban Area Plan (2001) BUAP Draft Belfast Metropolitan Area Plan 2015 (v2004) Draft Belfast Metropolitan Area Plan 2015 (v2014)</p>
3.3	<p>Regional Planning Policy Regional Development Strategy 2035 (RDS) Strategic Planning Policy Statement for Northern Ireland (SPPS)</p>
3.4	<p>Other Material Considerations Developer Contribution Framework (2020) Belfast Agenda (Community Plan)</p>
4.0	CONSULTATIONS AND REPRESENTATIONS
4.1	<p>Statutory Consultees</p> <p>DFI Roads – No objection subject to conditions NI Water – Objection on grounds of waste-water infrastructure capacity (further information has since been provided to NI Water and their further response is awaited) DfI Rivers – No objection DAERA NED – No objection subject to conditions DAERA WMU – No objection subject to conditions Northern Ireland Housing Executive – No objection</p>
4.2	<p>Non-Statutory Consultees</p> <p>Environmental Health – No objection subject to conditions. BCC Tree Officer - No objection subject to conditions. BCC Waste Management – No objection BCC Urban Design – No objection subject to conditions Shared Environmental Services – No objection subject to conditions</p>
	<p>Representations</p>
4.3	<p>The application has been advertised in the newspaper and neighbours notified.</p>

4.4	<p>22 letters of objection have been received from local residents themselves or planning agents on their behalf, raising the following issues (summarised):</p> <ul style="list-style-type: none"> • Applicant may not apply for social housing as it can only be NIHE • Demolition statement states 735 in poor condition • No 733 makes a material contribution • Existing houses should not be demolished • High density • Overdevelopment • Proposal forward of established building line • Out of keeping with the established area – density, height, scale and massing • Proposal should be red brick • Overlooking • Loss of light • Negative impact on air quality, noise, waste management and drainage • Lack of private open space • Proposal does not comply with Policy OS3 • Open space unusable • Proposal does not comply with Fields in Trust (FIT) Standards • Impact on infrastructure and services • Environmental impact • Potential loss of trees and impact on LLPA • Existing vegetation should be retained • Significant site works undertaken and trees removed • Badgers present • Flooding • Lack of parking making reference to <i>Creating Places</i> guidance • Increase in traffic • Traffic assessments carried out at inappropriate times • Travel Plan unrealistic • LA04/2014/1083/F has expired and pre LDP Plan Strategy • Supporting technical information submitted is out of date • Supporting statement does not refer to all current policies applicable • Drawings inaccurate • No public consultation carried out • Safety concerns • Community views not taken into account
4.5	<p>The relevant planning issues will be considered within the main assessment below. However, a number of the issues raised are not planning considerations and outside the remit of planning legislation and guidance such as whether the proposal is acceptable by FIT standards. Public consultation was undertaken in accordance with the statutory requirements. The proposal development does not fall under the category of Major development and therefore the applicant is not under statutory duty to consult with the public prior to making any application. Officers are satisfied that the submitted drawings are accurate.</p>

5.0	PLANNING ASSESSMENT
	Main Issues
5.1	<p>The main issues relevant to consideration of the application are summarised below.</p> <ul style="list-style-type: none"> • Principle of housing in this location • Housing density • Affordable housing • Housing mix • Adaptable and accessible accommodation • Design and Placemaking • Impact on amenity • Flood risk and drainage • Waste-water infrastructure • Climate change • Access and transport • Health impacts • Environmental protection • Natural heritage • Trees and landscaping • Waste management • Section 76 planning agreement
	Development Plan Context
5.2	<p>Section 6(4) of the Planning (Northern Ireland) Act 2011 states that in making any determinations under the Act, regard is to be had to the local development plan, and the determination must be made in accordance with the plan unless material considerations indicate otherwise.</p>
5.3	<p>Section 45(1) of the Act states that in determining planning applications, the Council must have regard to the local development plan, so far as material to the application, and to any other material considerations.</p>
5.4	<p>The Belfast Local Development Plan (LDP) when fully completed will replace the Belfast Urban Area Plan 2001 as the statutory Development Plan for the city. The Belfast LDP will comprise two parts. Part 1 is the Plan Strategy, which contains strategic and operational policies and was adopted on 02 May 2023. Part 2 is the Local Policies Plan, which will provide the zonings and proposals maps for Belfast and has not yet been published. The zonings and proposals maps in the Belfast Urban Area Plan 2001 remain part of the statutory local development plan until the Local Policies Plan is adopted.</p>
	<u>Operational Policies</u>
5.5	<p>The Plan Strategy contains a range of operational policies relevant to consideration of the application. These have been listed at paragraph 3.1.</p>

	<u>Proposals Maps</u>
5.6	Until such time as the Local Policies Plan is adopted, the Council must have regard to the land-use zonings, designations and proposals maps in the Belfast Urban Area Plan 2001, both versions of the draft Belfast Metropolitan Area Plan (v2004 and v2014) (draft BMAP 2015) and other relevant area plans. The weight to be afforded to these proposals maps is a matter for the decision maker. It is considered that significant weight should be given to the proposals map in draft BMAP 2015 (v2014) given its advanced stage in the development process, save for retail policies that relate to Sprucefield which remain contentious.
5.7	In the Belfast Urban Area Plan 2001 (BUAP); and both version of the draft Belfast Metropolitan Area Plan 2015 (v2004 and v2024), the site is within the development limits of the city and is un-zoned "white land".
	<u>Principle of housing in this location</u>
5.8	The site is located within the development limit in the various relevant Development Plans. The current established use on the site is residential and the site is surrounded by residential properties.
5.9	The site is a sustainable location for new housing. Antrim Road provides access to relevant local services and facilities as well as being an arterial route and main route to the City Centre. Bus stops are located on the Antrim Road, which is one of the main metro routes into Belfast City Centre and which is served by a high frequency public transport services Monday to Sunday. The site is also located approximately 2.5 miles from Yorkgate Station where rail services may be accessed.
5.10	In respect of the above, the site is considered a suitable and sustainable location within the development limits and suitable in principle for housing. Suitable infrastructure is in place and no additional measures would be required.
5.11	The site has previously benefited from planning permission for apartments, albeit the planning permission is no longer extant. There is a live undetermined application to renew the previous planning permission.
5.12	The principle of residential development of the site is considered acceptable and in accordance with Policies HOU1 and HOU2 of the Plan Strategy, and SPPS.
	<u>Housing density</u>
5.13	Policy HOU4 seeks to promote appropriate housing densities to ensure effective use of land, a finite resource, in sustainable locations. The application site is located along a City Corridor, with Policy HOU4 recommending an average density band of 100 - 175 dph in the inner city. The target density for the Outer City Area is 25 – 125 dph is recommended.
5.14	With a site area of approximately 0.45 hectares, the proposed density equates to 75.5 dwellings per hectare (dph). This is lower than the targeted density for a City Corridor but within the recommended density for the Outer City Area. The proposal is also consistent with densities in the areas with apartments located to the immediate south. Having regard to these considerations, the density is considered acceptable.

	<u>Affordable housing</u>
5.15	Policy HOU5 of the Plan Strategy requires housing schemes of 5 units or more, or sites of 0.1 hectares or greater, to deliver a minimum 20% affordable housing. The proposed scheme is for 100% social housing with a partner Housing Association in place. NIHE has confirmed it is supportive of the mono tenure scheme in line with Policy HOU5, SPG and the SPPS. It considers that there are exceptional circumstances that support a single tenure scheme as set out below:
5.16	<ul style="list-style-type: none"> • There is acute housing need in this area of North Belfast. • The site is within an overwhelmingly owner occupied and private housing area. There is only one social housing unit within 500m of the site. The closest housing estate is almost 1km from the site and the nearest housing estate within this Housing need area is almost 2 km distance. • The proposed scheme has also been known to the Housing Executive for several years and a letter of support was first sent to Radius Housing Association in September 2021 which predates the current mixed tenure policy.
5.17	NIHE advises that while there is not currently as large demand from elderly applicants compared to other household groups, it is envisaged this scheme will attract elderly residents in existing social houses no longer suitable for their needs, such as family units. This will in turn free up family housing for families in housing stress.
5.18	The provision of affordable housing would be secured by way of a Section 76 Planning Agreement.
5.19	The proposal accords with Policy HOU5.
	<u>Housing mix</u>
5.20	Policy HOU6 requires that provision should be made for small homes across all tenures to meet future household requirements and that the exact mix of house types and sizes will be negotiated on a case-by-case basis. The requirement for a mix of house types will not apply to single apartment developments such as this proposal, and in such cases, the housing mix will be considered acceptable through greater variety in the size of units.
5.21	The scheme proposes a range of apartments consisting of 4 x 2 person 1 bed; and 30 x 3 person 2 bed units. The 1 bedroom units are all wheelchair accessible. The proposed mix is considered to provide a satisfactory range of size and type and is targeted to meet social housing need. The proposed housing mix is considered acceptable having regard to Policy HOU6.
	<u>Adaptable & accessible accommodation</u>
5.22	Policy HOU7 requires that all new homes should be designed in a flexible way to ensure that housing is adaptable throughout all stages of life. Policy HOU7 sets six criteria (a.) to (f.) to be met in order to help deliver adaptable and accessible homes. The policy also requires that at least 10% of units in residential developments of 10 units or more to be wheelchair accessible and provides an additional nine criteria (g.) to (o.) which these units must meet. With the scheme proposing 34no. units, 10% would equate to 4 accessible units (rounded up), which the proposal provides.

5.23	<p>'Lifetime homes' standards are a nationally recognised set of criteria to make new dwellings adaptable enough to accommodate a household's changing lifetime needs and enable them to be lived in and visited by a wide range of people. All units have been designed with flexibility in mind for various stages of life. Criteria (a) to (f) of Policy HOU7 has been met in that all parking spaces are on a firm hardstanding surface which is either level or gently sloping. All main entrances display overhead shelter and all living, dining and kitchen space, as well as a WC, are proposed at entrance level. There is clear outlook from the main living spaces and an accessible bathroom is proposed on the same floor as the principle bedroom for each unit. Each wheelchair accessible unit is then designed to comply with criteria (g) to (o) of Policy HOU7 also.</p> <p><u>Design & placemaking</u></p>
5.24	<p>The proposal has been assessed against Policies SP5, DES1, and RD1 of the Plan Strategy, the SPPS and Creating Places. Policies SP5 and DES1 promote good placemaking, high quality design and the importance of proposals responding positively to local context addressing matters such as scale height, massing, proportions, rhythm, and materials avoiding any negative impact at street level. Policy DES1 states that planning permission will be granted for new development that is of a high quality, sustainable design that makes a positive contribution to placemaking and goes onto list 11 criteria, (a.) to (k.).</p>
5.25	<p>As proposed, the scheme consists of two individual blocks (A and B) fronting on to Antrim Road, each 4 storeys in height and stepping down to the rear. The blocks comprise 17 units in each. Main entrances are to the front and side on Block A and to both sides on Block B. Proposed parking is to the rear of Block A with undercroft parking included, and to the front of the Block B entrance. Plans show soft landscaping and open space throughout the site which is discussed in more detail in paragraphs 5.56 – 5.59. The existing access remains running through the middle of the site, which serves the proposed development and dwellings to the rear.</p>
5.26	<p>The proposed height of the buildings responds to the topography of the site, and contextually, the height of the blocks to the front are considered sympathetic to their wider context and would provide an appropriate addition to the streetscape.</p>
5.27	<p>Concern had been raised initially that the proposed blocks projected forward of the established building line, as well as that of the previously approved development. Amendments were submitted showing the blocks set back and respecting the established building line.</p>
5.28	<p>The orientation of fenestration and separation distances are acceptable and this is explored in more detail when assessing the impact on neighbouring amenity.</p>
5.29	<p>The proposed external materials include red brick and smooth render walls, man-made grey/black slates and black/grey rainwater goods which are acceptable for the site and surrounding area.</p>
5.30	<p>BCC Urban Design Officer raises no concerns in relation to the proposed façade articulation and materiality. The proposed elevations include a clear ordering of windows alongside details such as cills, window headers (soldier courses) and a general predominance of red brick accented with coloured render all of which are characteristics of this area. The initial consultation response recommended that clay facing brick is specified which is considered contextually appropriate to Belfast, as opposed to concrete brick which doesn't weather or age over time. The use of clay brick has been confirmed by the applicant and should be conditioned.</p>

5.31	<p>It is considered that the scale, massing and design of the building are appropriate to the site and surrounding buildings and the proposal accords with RD1 and DES1 of the Plan Strategy.</p> <p><u>Impact on amenity</u></p> <p><i>Open space and amenity space:</i></p>
5.32	<p>Policy OS3 requires that all new development proposals make appropriate provision for open space, including hard and soft landscaped areas and outdoor amenity areas, to serve the needs of the development. The precise amount, location, type and design of such provision will be negotiated with applicants taking account of the specific characteristics of the development, the site and its context and having regard to a) the normal expectation will be at least 10% of the total site area; and b) complementary and ancillary equipment and facilities, including for active or passive enjoyment of residents or occupiers, should be incorporated into the design of the development.</p>
5.33	<p>As noted by the Urban Design Officer, the amended site plans includes 360m² of open space in the communal landscaped garden area to the rear of Block A, serving 17 units (21.2 sqm per unit). The agent has confirmed that this calculation excludes those narrower areas of open space to the south side and front of the block, which is welcomed. The site plan also provides for 179 sqm of open space within a communal garden at the rear of Block B, also serving 17 units (10.5m² per apartment). Again, the agent has confirmed that this calculation excludes those narrower areas of open space to the north side and front of the block, which is welcomed. Setting Block B further back has also allowed for an increase in the size, amenity value and usability of the garden area to the front. This increases the total area of open space for Block B to 334 sqm and an average of 19.7 sqm per unit (similar to that of Block A). This amount of open space (694 sqm) exceeds the 10% open space of the total site area (0.45 hectare) and therefore the requirement of Policy OS3 are met.</p>
5.34	<p><i>Creating Places</i>, published in 2000, recommends that private communal open space should range from 10 sqm to around 30 sqm. Therefore, the proposed amenity provision is considered generous. There are also small balconies on some apartments, and shared amenity space indoors in the form of a community day room and internal streets with street furniture.</p>
5.35	<p>It is considered the requirements of Policy OS3 are met.</p> <p><i>Impact on neighbouring amenity:</i></p>
5.36	<p>The Council's SPG 'Residential Design' states that suitable separation is required between properties to ensure all residents benefit from adequate daylight and sunlight, and to achieve sufficient outlook and privacy. It recommends that a minimum of 20m should be maintained between facing windows of habitable rooms and 10m between blank gable walls or non-habitable rooms.</p>
5.37	<p>In this instance, at its nearest point the elevation closest to the rear boundary will achieve a minimum separation distance of approximately 19.4m from the closest neighbouring property at No 733b (gable wall). The agent has stated that confirmation has been received from the resident of No. 733b that the GF windows in that gable serve a garage with upper floor windows being secondary windows. This distance is considered sufficient to prevent impact on neighbours and in line with the guidance.</p>

5.38	The proposed separation distance between Block A and No 733a is over 40m. Due to the orientation, separation distances and fenestration there will be no impact on residential amenity due to overlooking. The proposal would not cause an unacceptable degree of overshadowing to neighbouring dwellings, unacceptable loss of outlook, overbearing or other harmful impacts on amenity.
5.39	In these regards, the proposal is considered to satisfy Policies DES1 and RD1, and relevant provisions of the SPPS.
	<u>Flood risk and drainage</u>
5.40	DfI Rivers has reviewed the Drainage Assessment, Schedule 6 consent from the Area Office to divert a small section of the designated culvert, and Proposed Drainage Layout Plan, and accepting the applicant's logic and has no reason to disagree with the conclusions. Accordingly, it offers no objection to the proposal.
5.41	The proposal complies with Policy ENV4 and relevant provisions of the SPPS.
	<u>Waste-water infrastructure</u>
5.42	Policy SP1A requires that necessary infrastructure is in place to support new development. NI Water objects to the application on grounds of network drainage capacity concerns. It advises that the downstream catchment is constrained by overloaded sewage infrastructure including one or more downstream "Unsatisfactory Intermittent Discharges" (UID's) which are causing a negative impact on the environment. These are located at Fortwilliam Park Dunlambert CSO; Shore Road Fortwilliam CSO; and Shore Road York CSO. (1,2&3) Discharge to the Lagan. This part of Belfast catchment is constrained by lengths of downstream sewer operating above capacity. NI Water suggested the applicant should liaise directly with them on this issue.
5.43	Importantly, officers advise that allowance must be made for existing significant committed development across the city including extant planning permissions. It is highly unlikely that all such development, which includes unimplemented permissions for over 20,000 houses and significant levels of commercial floor space across the city, will come forward at once, if at all. In practical terms it would be unreasonable for the Council to withhold planning permission given the fall-back of the need to connect those developments to existing waste water infrastructure.
5.44	Having regard to the above, it is considered unreasonable to refuse planning permission on grounds of insufficient network drainage capacity.
	<u>Climate change</u>
5.45	Policy ENV2 states that planning permission will be granted for development that incorporates measures to mitigate environmental change and reduce greenhouse gases by promoting sustainable patterns of development. Policy ENV3 states that planning permission will be granted for development that incorporates measures to adapt to environmental change.
5.46	High efficiency boilers will provide the heat source for space heating and water heating all of which will operate under zoned thermostatic controls to avoid unnecessary energy usage. All apartments will include a mix of the following features to comply with the Energy Efficiency standards:

	<ul style="list-style-type: none"> • Triple glazed windows • High levels of energy efficient fabric insulation. • PV panels (sized in accordance with Design SAP calculations) • Air Permeability of 3 or less (Designed q50) • Passive Ventilation (PIV) to comply with relevant section of Building Regulations
5.47	These measures should be secured by condition.
5.48	The proposed development would be resilient from flood risk.
5.49	The proposal is considered to accord with Policies ENV2 and ENV3.
	<i>Demolition:</i>
5.50	The proposal involves the demolition of the existing dwellings to facilitate the proposal. The existing buildings are not listed, nor within a Conservation Area and therefore not afforded protection.
5.51	Policy ENV2 also states that development proposals should where feasible avoid demolition and reuse existing buildings and structures. A Demolition Justification Statement has been submitted and states that the existing buildings are currently in a poor state of repair and have been subject to vandalism. It also states they are not feasible to be re-used or converted for the proposed new residential use on the site. The plan depth and internal configuration of units restrict daylighting to the depth of the plan and is not appropriate for reuse as apartment units.
5.52	Moreover, retention of the existing dwellings would not permit the high-density apartment development proposed by the applicant, which would provide high density social housing for which there is an identified need.
5.53	The proposed development will re-use (re-cycling) as much of the existing building waste material within the design as possible, for example crushed stone materials. These measures should be secured by condition.
5.54	The demolition of the existing dwellings is considered acceptable, having regard to Policy ENV2.
	<i>SuDS:</i>
5.55	Policy ENV5 states that all built development shall include, where appropriate, SuDs measures to manage surface water effectively on site, to reduce surface water run-off and to ensure flooding is not increased elsewhere. The application proposes SuDS features such as the provision of communal green spaces, as well as smart water butts, and some additional tree planting. These measures should be secured by condition. The proposals are considered to satisfy Policies ENV5.

	<p><u>Access and transport</u></p> <p><i>Accessibility and parking:</i></p>
5.56	<p>The proposal is in an accessible location just off an arterial route, near to a bus stop, with good access to public transport. Secure covered bike storage is proposed. The site is accessible and provides good opportunities for active travel, including walking and cycling, through excellent linkages with the City Centre and its shops, services and amenities. Policy TRAN 8 states that development proposals will be required to provide adequate provision for car parking and appropriate servicing arrangements. The proposal contains 34 parking spaces including 4 disabled spaces (i.e. 1 space per residential unit), which is acceptable).</p>
5.57	<p>Road safety and traffic are concerns raised by objectors. DfI Roads Service are the authoritative body to advise on road safety and traffic and they responded to consultation with no objection subject to conditions should approval be granted.</p>
5.58	<p>The access to public roads would not prejudice road safety or significantly inconvenience the flow of road users in accordance with Policy TRAN 6.</p>
5.59	<p>A Travel Plan has been submitted and found to be acceptable by DfI Roads; it will further promote alternatives to the private car.</p>
5.60	<p>The scale of development and transport implications of the proposal were assessed by DfI Roads and considered to be acceptable. The proposal is considered acceptable having regard to Policies TRAN1, TRAN2, TRAN6, and TRAN 8, and relevant provisions of the SPPS</p>
	<p><u>Health impacts</u></p>
5.61	<p>Policy SP3 requires new development to maximise opportunities to improve health and wellbeing. Policy HC1 seeks to ensure that all new development maximise opportunities to promote healthy and active lifestyles. New developments should be designed, constructed and managed in ways that improve health and promote healthy lifestyles. This will include supporting active travel options, improving accessibility to local service centres, reducing the use of private car travel, adequate provision of public open space, leisure and recreation facilities, high quality design and promoting balanced communities and sustainable neighbourhoods.</p>
5.62	<p>The site is a sustainable location with good access to public transport. The proposed buildings are considered to be of a high quality design with good quality hard and soft landscaping. This will provide a pleasant and attractive environment for prospective occupants of the building and people in housing need. The proposal would promote green travel. It is considered compliant with Policy HC1 and SP3.</p>
	<p><u>Environmental protection</u></p>
5.63	<p>Policy ENV1 states that planning permission will be granted for development that will maintain and, where possible, enhance environmental quality, and protects communities from materially harmful development. The proposed development has been assessed by Environmental Health in terms of contaminated land, air quality, lighting, odour and noise.</p>

	<i>Contaminated land</i>
5.64	BCC EHO confirmed records do not indicate potential land contamination associated with past land-use on or in close proximity to this proposed development.
	<i>Air quality</i>
5.65	No information has been provided at this stage regarding hot water or heating systems for the proposal. EHO have advised that any combustion plant where the single or combined NOx emission rate is more than 5mg/sec could give rise to impacts. They have advised a condition that an Air Quality Assessment be submitted and agreed in writing prior to installation.
	<i>Noise</i>
5.66	A Noise Impact Assessment was submitted and BCC EHO have no concerns regarding the impact of noise, subject to the inclusion of a condition stating all noise mitigation measures outlined within the NIA will be installed prior to occupation.
5.67	Having regard to the advice from Environmental Health, the proposal is considered to accord with Policy ENV1, and relevant provisions of the SPPS.
	<u>Natural heritage</u>
5.68	DAERA Water Management Unit cited concerns over the potential impact on sewage loading to the Belfast waste-water treatment works. However, NI Water has confirmed that there is available capacity and as such there is no issue in this regard.
5.69	DAERA WMU also highlighted concerns with respect to infrastructure capacity and recommends a condition that requires details of drainage disposal to be agreed in writing with NI Water or a Consent to Discharge granted prior to commencement of development. Shared Environmental Services also responded suggesting the same condition should approval be granted to mitigate potential impacts on Belfast Lough.
5.70	The owner of the site has expressed concern that such a pre-commencement condition could adversely affect the implementation of the scheme. They state that the previous planning permission for residential redevelopment of the site (Z/2014/1083/F) did not have such a condition attached to it and that there is a current live application (LA04/2022/1863/F) to renew that permission. NI Water has been made aware of the planning history of the site and its further advice is awaited. Delegated authority is sought to deal with the further consultation advice from NI Water, provided that it is does not raise substantively new issues.
5.71	A Bat Roost Assessment, Preliminary Ecological Assessment and Bat Survey were submitted as part of the application. DAERA NED are content with the ecologist's recommendations that a licence for the Exclusion of Bats for Development Purposes is obtained from DAERA prior to any works commencing, and that a minimum of two bat boxes be placed on site to provide alternative roosting opportunities within the new development.
5.72	NED recommends that the site is surveyed prior to any demolition works to the building to ensure no new roosts have been established and suggested a condition to reflect this. A phasing plan has been submitted indicating a phased development to suit timescales to secure bat license from DAERA NED. The survey is only applicable for Phase 2 area.

5.73	<p>Two representations raise the issue of badgers present on the site. The PEA survey incorporated a Badger survey. Badger signs were searched for throughout the survey periods (11.30 am - 14.00 pm). No special equipment was used. The survey included a search for signs of usage by Badger, such as foraging tracks, snagged guard hairs, dung etc. In particular a search was conducted for potential sett entrances. The search area included a buffer of at least 25m beyond the site boundary where access was possible. The report stated that <i>“there were no signs of badger use any part of the site. 25 m buffers to the rear includes a hard surface car park, and to the front, the Antrim Road. To either side the buffers are in private gardens that were not accessed and largely could not be viewed from the site. Around open garden section of the site, the adjacent wooden fence could be easily viewed and no squeezed points were noted. The unmanaged scrub habitats of No 735 are too generally dense for use by badgers. The more open areas at the Cypress shaded edges had no signs of badger use. There is a negligible chance of there being badger setts on site or around the site periphery that have tunnels extending into the application site, and no evidence of habitual use.”</i> Whilst some representations raised the issue that reports were “outdated” DAERA did not request updated surveys and assessed the findings within.</p>
5.74	<p>DAERA offers no objection to the proposal subject conditions. The proposal is considered compliant with Policy NH1 and the relevant provisions of the SPPS.</p> <p><u>Trees and landscaping</u></p>
5.75	<p>Initially more mature trees were visible on the site, however, it was reported these had been removed. The applicant confirmed this was due to recent storm damage. Whilst retention of all mature trees is ideal, it was clearly not possible on the site. Furthermore, none of the trees are protected by a Tree Protection Order or afforded protection by being within a Conservation Area.</p>
5.76	<p>To help comply with Policy TRE1 and secure a net gain in tree cover within the site for future years, a proposed detailed landscaping has been submitted as part of the application. 6 x existing trees are to be retained and protected through tree protective fencing as part of the scheme, the trees range in height from 8m – 20m and surveyed as being in fair conditions.</p>
5.77	<p>Proposed landscaping as part of the application including front boundary hedging; front, rear and side boundary tree planting of 7 x tree species which should help future contribute to site amenity value, biodiversity and species resilience within the site should the trees establish in a natural manner; and species tree planting including acers, alder, serviceberry, birch, ornamental pear, oak, rowan and lime ‘greenspire’.</p>
5.78	<p>A landscape management and maintenance plan has also been submitted which sets out the landscape approach to show how existing and proposed landscaping features will be monitored to promote landscaping within the site which offers amenity value and promote opportunities for local biodiversity and wildlife to thrive within the site. The period of establishment maintenance will be a minimum of 12 months after the completion of the planting.</p>
5.79	<p>The Council’s Tree Officer was consulted and provided feedback throughout the assessment. They responded with no objections subject to conditions should approval be granted. The proposal is considered compliant with TRE1 of the Plan Strategy.</p>

	<u>Waste management</u>
5.80	In accordance with Policy RD1, new residential development should be provided with adequate space for daily segregation of recyclable materials and waste before it is moved to the communal waste storage area. Bin storage is shown to on the lower ground floors and then collection point to the front of the site, therefore accessible for bin collections etc. The bin storage allocation should be in line with the Local Government Waste Storage Guide for NI 2010 and BS 5905:(2005). The application is supported by a Waste Management Plan (WMP) which outlines the operational waste management measures, and the council has consulted with BCC's City & Neighbour Services Department, which has confirmed that on balance there are no objections.
5.81	<p>They have highlighted two points which the applicant has been asked to address:</p> <ol style="list-style-type: none"> 1. The plan includes the use of 4 x 240l wheeled bins at each block for general waste; we no longer provide 240s although in principle we will still collect them if the developer provides them themselves. Either 4 or 5 x 180s would be acceptable instead and we can provide these. I think there should be scope to accommodate 5 x 180s instead of 4 x 240s in the bin stores but the developer should satisfy themselves on this and the plan can be amended at the BC stage if necessary. 2. Building Control may test the gradients associated with Block B in more detail, so the developer should satisfy themselves re compliance with the guidance.
5.82	On balance therefore, it is considered that as proposed, the waste management plan and arrangements are acceptable, and in accordance with Policy RD1.
	<u>Section 76 Planning Agreement</u>
5.83	<p>If the application is approved, it should be subject to a Section 76 planning agreement to secure the following planning obligations. These are considered necessary to make the proposed development acceptable.</p> <ul style="list-style-type: none"> • Social rented housing – all 100% of the residential units constructed at the property shall be occupied as Social Housing Units; • Green travel measure – secure implementation of Travel Plan and green travel measures (car club and travel cards).
5.84	The Section 76 planning agreement has been agreed in principle.
6.0	Recommendation
6.1	Having regard to the Development Plan and material considerations, it is recommended that planning permission is granted subject to conditions and a Section 76 planning agreement.
6.2	Delegated authority is sought for the Director of Planning and Building Control to finalise the wording of the conditions and Section 76 planning agreement, and deal with any other matters that arise including the further consultation response from NI Water, provided that they are not substantive.

7.0	<p>DRAFT CONDITIONS</p> <p>Time:</p> <ol style="list-style-type: none"> 1. The development hereby permitted must be begun within five years from the date of this permission. <p>Reason: As required by Section 61 of the Planning Act (Northern Ireland) 2011.</p> <p>External materials:</p> <ol style="list-style-type: none"> 2. No external materials shall be constructed or applied unless in accordance with a written specification and a physical sample panel, details of which shall have first been submitted to and approved in writing by the Council. The sample panel shall be provided on site and made available for inspection by the Council for the duration of the construction works. The sample panel shall show the make, type, size, colour, bond, pointing, coursing, jointing, profile and texture of the external facing materials. The bricks shall be constructed from clay. <p>Reason: In the interests of the character and appearance of the area.</p> <p>Climate change:</p> <ol style="list-style-type: none"> 3. The development hereby approved shall not be occupied unless the [climate change measures described in the application] have been implemented. The climate change measures shall be retained in accordance with the approved details at all times. <p>Reason: To mitigate and/or adapt to climate change.</p> <ol style="list-style-type: none"> 4. No demolition shall commence until details of how materials in the existing dwellings to be demolished shall be re-used and recycled have been submitted to and approved in writing. The development shall not be carried out unless in accordance with the approved details. <p>Reason: In the interests of minimising impact on climate change.</p> <ol style="list-style-type: none"> 5. The development here permitted shall not be occupied unless the SuDS measures [described in the application] have been implemented. The SuDS measures shall thereafter be retained and maintained. <p>Reason: In the interests of minimising impact on climate change.</p> <p>Waste management:</p> <ol style="list-style-type: none"> 6. The development shall not be occupied until the refuse and recycling storage area have been provided in accordance with the approved plans and shall be retained as such at all times. <p>Reason: To ensure adequate provision of refuse and recycling storage in the interests of the amenities of the area.</p>
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Trees and landscaping:

7. All landscaping works shall be carried out in accordance with approved details. The works shall be carried out prior to the completion of the development unless otherwise agreed in writing by the Council. Any trees or plants indicated on the approved scheme which, within a period of five years from the date of planting, die, are removed or become seriously damaged, diseased or dying shall be replaced during the next planting season with other trees or plants of a location, species and size, details of which shall have first been submitted to and approved in writing by the Council.

Reason: In the interests of the character and appearance of the area.

8. All trees and planting within the site shall be retained unless shown on the approved drawings as being removed. Any retained trees or planting indicated on the approved drawings which become seriously damaged, diseased, or dying, shall be replaced during the next planting season (October to March inclusive) with other trees or plants of a location, species and size to be first approved in writing by the Council.

Reason: In the interests of visual amenity.

9. Prior to any work commencing, protective barriers (fencing) and ground protection shall be erected and installed as specified in British Standard 5837: 2012 (section 6.2) on any trees / hedging to be retained within the site and must be in place before any materials or machinery are brought onto site for demolition, development, or soil stripping. The protective fencing must remain in place until all work is completed, and all associated materials and equipment are removed from site.

Reason: To ensure the protection of, and to ensure the continuity of amenity afforded by any existing trees to be retained within the site and on adjacent lands.

10. No storage of materials, parking of vehicles or plant, temporary buildings, sheds, offices or fires within the Root Protection Area of trees within the site and adjacent lands during the construction period.

Reason: To safeguard trees of amenity and biodiversity value.

Noise:

11. Prior to occupation of the development, the noise mitigation measures (including the alternative means of ventilation) specified within Section 6 and illustrated in Figure 6.1 of the submitted Alive Environmental Ltd report entitled, 'Noise Impact Assessment, 733-735 Antrim Road, UPDATED SCHEME DESIGN FROM PREVIOUS PLANNING APPLICATION (LA04/2022/1863/F) SUBMITTED IN 2023', dated June 2024 shall be installed within habitable rooms of the development and retained at all times.

Reason: To safeguard the amenity of occupants of the buildings hereby approved.

Air quality:

12. In the event that any centralised combustion sources (boilers, CHP or biomass) are proposed and there is a risk of impact at relevant receptor locations as per the criteria detailed within the Environmental Protection UK and Institute of Air Quality Management, Land-use Planning & Development Control: Planning For Air Quality (January 2017), an updated Air Quality Impact Assessment shall be submitted to and approved in writing by the Council. Where the Air Quality Impact Assessment indicates exceedances of air quality objectives, appropriate mitigation measures shall be presented and these mitigation measures shall be installed and retained thereafter. The development shall not be carried out unless in accordance with the approved conditions.

Reason: The protection of human health.

Contamination

13. In the event that unexpected contamination is encountered during the carrying out of the development, all related works shall cease and the Council shall be notified immediately in writing. Investigation of the contamination, risk assessment and, if necessary, remediation work, shall be undertaken and verified in writing by the Council prior to occupation.

Reason: The protection of human health

Natural heritage:

14. Within twenty-four hours prior to demolition, the existing buildings on the site shall be checked for bat presence by a competent ecologist and all demolition works shall be monitored by a competent ecologist, details of which shall be submitted to the Council in writing in advance. A report of the demolition shall be submitted to the Council within 2 weeks.

Reason: To ensure protection to bats and their roosts.

Phasing:

17. The development shall not be carried out or sequenced unless in accordance with the approved phasing plan with Drawing No 21 uploaded to the Public Portal on 07/10/25

Reason: To enable the ecological surveys to be dealt with in a phased manner.

Transport:

18. The vehicular access, including visibility splays and any forward sight distance, shall be provided in accordance with Drawing No 02B uploaded to the Public Portal on 02/04/25, prior to the commencement of any other works or other development hereby permitted.

Reason: To ensure there is a satisfactory means of access in the interests of road safety and the convenience of road users.

19. The area within the visibility splays and any forward sight line shall be cleared to provide a level surface no higher than 250 mm above the level of the adjoining carriageway before the development hereby permitted is commenced and such splays shall be retained and kept clear thereafter.

Reason: To ensure there is a satisfactory means of access in the interest of road safety and the convenience of road users.

20. The access gradient shall not exceed 4% (1 in 25) over the first 10m outside the road boundary. Where the vehicular access crosses a footway or verge, the access gradient shall be between 4% (1 in 25) maximum and 2.5% (1 in 40) minimum and shall be formed so that there is no abrupt change of slope along the footway.

Reason: To ensure there is a satisfactory means of access in the interests of road safety and the convenience of road users.

21. No apartment block shall be occupied until its respective vehicular parking has been provided in accordance with the approved plans. The parking areas shall be retained at all times for that use.

Reason: To provide adequate parking for the development.

22. No apartment block shall occupied until its respective weather protected cycle parking has been fully provided in accordance with the approved plans. The protected weather proof parking shall be retained at all times.

Reason: To ensure acceptable cycle parking facilities on the site and to encourage alternative modes of transport to the private car.

23. The development shall not operate unless in accordance with the Service Management Plan.

Reason: In the interests of road safety and the convenience of road users.

Drainage:

24. Notwithstanding the submitted details, no development shall commence on site (other than site clearance, site preparation, demolition and the formation of foundations and trenches) unless details of foul and surface water drainage, including a programme for implementation of these works, have been submitted to and approved in writing by the Council. The development shall not be carried out unless in accordance with the approved details, which shall be retained as such thereafter.

Reason: To ensure appropriate foul and surface water drainage of the site, in the interests of safeguarding the environment integrity of Belfast Lough. Approval is required upfront because the design of the drainage is an integral part of the development and its acceptability.

25. A clearly defined buffer of at least 10 m must be maintained between the location of all refuelling, storage of oil/fuels, concrete mixing and washing areas, storage of machinery/materials/spoil etc. and any open surface water drains connecting to the culverted watercourse.

Reason: In the interests of safeguarding the environment integrity of Belfast Lough.

DRAFT INFORMATIVES

Section 76 planning agreement

This planning permission is subject to a planning agreement under Section 76 of the Planning Act (Northern Ireland) 2011, which secures the development as social housing, the travel plan and green travel measures. This decision should be read in conjunction with the planning agreement.

Compliance with planning permission

Please make sure that you carry out the development in accordance with the approved plans and any planning conditions listed above. Failure to do so will mean that the proposal is unauthorised and liable for investigation by the Council's Planning Enforcement team. If you would like advice about how to comply with the planning permission, you are advised to contact the Planning Service at Belfast City Council at planning@belfastcity.gov.uk.

Discharge of condition(s)

This planning permission includes condition(s) which require further details to be submitted to and approved by the Council. Please read the condition(s) carefully so that you know when this information needs to be provided and approved. It could take a minimum of 8 weeks for the Council to approve the details, assuming that they are satisfactory, and sometimes longer depending on the complexity of the condition. You should allow for this when planning the timeline of your project.

Non-planning requirements

The grant of planning permission does not dispense with the need to obtain licenses, authorisations may have been identified by consultees in their response to the application and can be accessed on the Northern Ireland Planning Portal website. The responses from consultees may also include other general advice for the benefit of the applicant or developer, consents or permissions under other legislation or protocols.

Planning Committee

Development Management Report	
Committee Date: 11 th November 2025	
Application ID: LA04/2025/0556/F and LA04/2025/0557/DCA	
Proposal: Proposed change of use from restaurant, public house, 2 no retail units and office use to public house, restaurant, hotel and 1.no retail unit with an additional 2no.storeys associated with the hotel use, and all external façade alterations	Location: Lands at no's 10-22 Ann Street (including 8-10 Crown Entry and 12 Crown Entry) Belfast BT1 4EF
Referral Route: 3.8.2 (a) (viii) Representation received that conflicts with the Planning Officer's recommendation.	
Recommendation: Approve, subject to conditions	
Applicant Name and Address: Beannchor Group Ltd 3 Third Floor Hill Street Belfast BT1 2LA	Agent Name and Address: Sarah Barrett TSA Planning 20 May Street Belfast BT1 4NL
Date Valid: 27 th March 2025	
Target Date: 10 th July 2025	
Contact Officer: Ed Baker, Planning Manager (Development Management)	
Executive Summary: <p>The application seeks full permission for a proposed change of use from restaurant, public house, 2 no retail units and office use to public house, restaurant, hotel and 1.no retail unit with an additional 2no.storeys associated with the hotel use, and all external façade alterations.</p> <p>An associated application for Conservation Area Consent has also been submitted under the reference LA05/2025/0557/DCA and seeks permission for ground floor facades remodelling, removal of window detailing to upper floors, removal and replacement of windows and doors, creation of new door and window openings, removal of roof to rear return and internal wall and roof demolition to accommodate reconfiguration of buildings and associated development for proposed change of use.</p> <p>The site is located on Ann Street located in the Primary Retail Area within the boundary of the City Centre. The application site is also located within the City Centre Conservation Area and within close proximity to the following Listed Buildings:</p> <ul style="list-style-type: none"> • HB26/50/039 Masonic Building, 13-14 Arthur Square, Belfast Grade B+ • HB26/50/096 Mayfair Building, Arthur Square, Belfast Grade B1 • HB26/50/304 1- 5 Castle Lane & 23-29 Cornmarket, Belfast Grade B2 	

The key issues for consideration of the application are set out below.

- Principle of proposal
- Design & Placemaking
- Built Heritage
- Impact on Amenity
- Access & transport
- Climate change
- Environmental protection
- Waste-water infrastructure
- Waste storage
- Natural heritage

The principle of the proposed uses is considered acceptable under the strategic aims of the RDS, the SPPS and the Belfast Local Development Plan: Plan Strategy. The City Centre is deemed an appropriate location for the proposed bar/restaurant/hotel and retail unit. The non-retail uses would not be considered to adversely impact on the Primary Retail Area.

The proposed extension is considered subservient to the existing building and is sympathetic to both the character of the Conservation Area and the setting of the surrounding listed buildings. It is considered that the character and appearance of the Conservation Area would be enhanced.

HED, NIEA and Environmental Health have responded advising no objection, subject to conditions. Internal Conservation Advice raises concerns, which are addressed within the report. NI Water has recommended refusal due to waste-water network capacity issues and this will be addressed by way of condition.

Consultation responses remain outstanding from SES, DFI Roads and DFI Rivers. Delegated authority is requested to deal with the outstanding consultations, provided that no substantive issues are raised.

One third party objection has been received and is addressed in the report.

The proposal was subject to a detailed PAD process under the reference LA04/2024/1179/PAD.

Recommendation

Having regard to the Development Plan and all relevant material considerations, it is recommended that planning permission is granted subject to conditions.

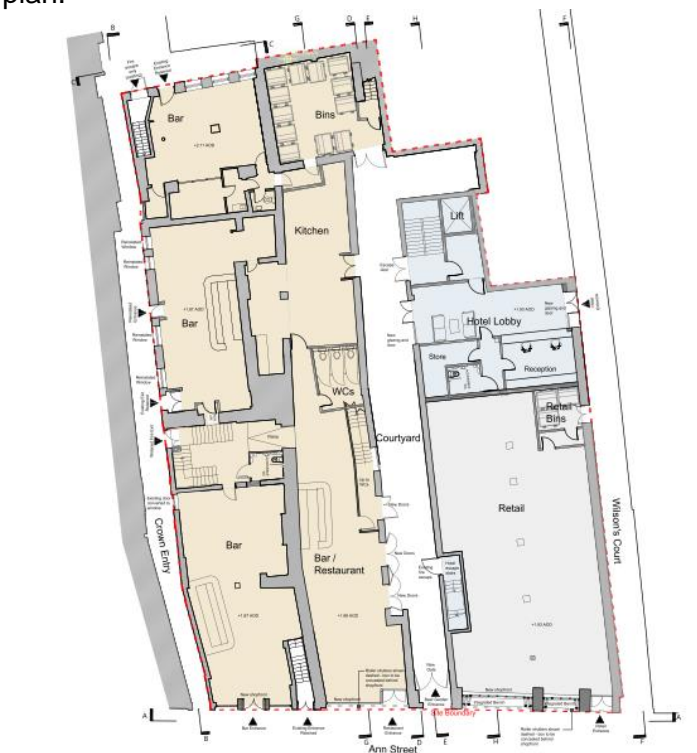
Delegated authority is sought for the Director of Planning and Building Control to finalise the wording of the conditions and to deal with the outstanding consultation response from SES, DFI Roads and DFI Rivers and any other issues, provided that they are not substantive.

Proposed Plans

Site location plan:



Proposed ground floorplan:



Proposed 1st Floor Plan:



Proposed 2nd Floorplans:



Proposed 3rd Floorplans:



Proposed 4th Floorplan:



[illegible]

Proposed CGI:



1.0	Characteristics of the Site and Area
1.1	<p>The site is comprised of three buildings along Ann Street:</p> <ul style="list-style-type: none"> • 10 Ann Street is a three storey red brick building adjacent to Crown Entry with a ground floor restaurant and formerly a bar and club on the upper floors. • 12-14 Ann Street is a three storey red brick building with a ground floor retail unit. • 16-22 Ann Street is a four storey grey render building with two ground floor retail units.
1.2	<p>The site is located in a prominent location within the Primary Retail Core of the City Centre as well as the City Centre Conservation Area. The surrounding context includes a number of listed buildings as below:</p> <ul style="list-style-type: none"> • HB26/50/039 Masonic Building, 13-14 Arthur Square, Belfast Grade B+ • HB26/50/096 Mayfair Building, Arthur Square, Belfast Grade B1 • HB26/50/304 1- 5 Castle Lane & 23-29 Cornmarket, Belfast Grade B2
1.3	<p>The surrounding area architecturally has a mix of designs and materials with a consistent shoulder height of 3-4 stories. The exception to this is the Dunnes Stores building at 2-6 Ann Street which is somewhat of an anomaly at six stories in height.</p>
1.4	<p>The surrounding area is mixed in use with several retail units, cafes, restaurants at ground floor and offices above.</p>


2.0	PLANNING HISTORY
2.1	LA04/2015/0070/F- 12-14 Ann Street- Change of use from retail unit to ground floor ice cream café, Permission Granted, 14/10/2015.
2.2	LA04/2018/2030/F- 10A Ann Street- New roof terrace including bar, toilets and escape stair, Permission Granted, 25/04/2019.
2.3	LA04/2022/0009/F- 10A Ann Street and 10-12 Crown Entry- Creation of public bar along Crown Entry involving replacement of existing roof covering, proposed outdoor seating area within Crown Entry, internal alterations to form private function rooms, kitchen areas, creating of roof terraces and food court areas including food units. Creation of an additional storey to the rear along Crown Entry. Permission Granted, 10/02/2023.
2.4	LA04/2024/1179/PAD- 10-22 Ann Street- Proposed change of use from restaurant, public house, 2 no. retail units and office use to public house, restaurant, hotel and 1 no. retail unit and the development of 2 no. additional storeys associated with the hotel use and all external facade alterations. PAD Concluded.
3.0	PLANNING POLICY
3.1	<p>Development Plan – Plan Strategy</p> <p><u>Belfast Local Development Plan, Plan Strategy 2035</u></p> <p><i>Strategic Policies:</i></p> <ul style="list-style-type: none"> • Policy SP1A – Managing growth and supporting infrastructure delivery • Policy SP2 – Sustainable development • Policy SP3 – Improving health and wellbeing • Policy SP5 – Positive placemaking • Policy SP6 – Environmental resilience • Policy SP7 – Connectivity • Policy SD2 – Settlement areas <p><i>Operational Policies:</i></p> <ul style="list-style-type: none"> • Policy DES1 – Principles of urban design • Policy BH1 – Listed Buildings • Policy BH2 – Conservation Areas • Policy BH5 – Archaeology • Policy EC1 – Delivering inclusive economic growth • Policy TLC1 – Supporting tourism, leisure and cultural development • Policy TLC3- Overnight Visitor Accommodation • Policy TLC4 – Evening and night-time economy • Policy HC1 – Promoting healthy communities • Policy RET1 – Establishing a centre hierarchy • Policy TRAN1 – Active travel – walking and cycling • Policy TRAN2 – Creating an accessible environment • Policy TRAN4 – Travel plan • Policy TRAN6 – Access to public roads • Policy TRAN8 – Car parking and servicing arrangements

	<ul style="list-style-type: none"> • Policy ENV1 – Environmental quality • Policy ENV2 – Mitigating environmental change • Policy ENV3 – Adapting to environmental change • Policy ENV5 – Sustainable drainage systems (SuDS) • Policy NH1 – Protection of natural heritage resources <p><u>Supplementary Planning Guidance</u></p> <ul style="list-style-type: none"> • Placemaking and Urban Design • Sustainable Urban Drainage Systems • Transportation • Retail and Main Town Centre Uses • Sensitive Uses • City Centre Conservation Guide
3.2	<p>Development Plan – zoning, designations and proposals maps</p> <ul style="list-style-type: none"> • Belfast Urban Area Plan (2001) BUAP • Draft Belfast Metropolitan Area Plan 2015 (v2004) • Draft Belfast Metropolitan Area Plan 2015 (v2014)
3.3	<p>Regional Planning Policy</p> <ul style="list-style-type: none"> • Regional Development Strategy 2035 (RDS) • Strategic Planning Policy Statement for Northern Ireland (SPPS)
3.4	<p>Other Material Considerations</p> <ul style="list-style-type: none"> • Belfast Agenda (Community Plan)
4.0	<p>CONSULTATIONS AND REPRESENTATIONS</p>
4.1	<p><u>Statutory Consultees</u></p> <ul style="list-style-type: none"> • DfI Roads: Awaiting Response • DfI Rivers: Awaiting Response • Historic Environment Division (HED): No objection with conditions. • DAERA (NIEA): Potential to impact the surface water environment
4.2	<p><u>Non-Statutory Consultees</u></p> <ul style="list-style-type: none"> • BCC Environmental Health: No objection, advise conditions • Conservation Officer: Concerns raised and addressed within the report • Shared Environmental Services: Awaiting Response
4.3	<p><u>Representations</u></p> <p>The application has been advertised in the newspaper and neighbours notified, one representation was received:</p> <ul style="list-style-type: none"> • Additional stories will lead to a loss of satellite signal to the neighbouring Mermaid Inn. <i>Case Officer's Response: Impact of the building on surrounding satellite signal is not a material planning consideration.</i>

5.0	PLANNING ASSESSMENT
	<u>Main Issues</u>
5.1	<p>The main issues relevant to consideration of the application are set out below.</p>
	<ul style="list-style-type: none"> • Principle of proposal • Design & Placemaking • Built Heritage • Impact on Amenity • Access & transport • Climate change • Environmental protection • Waste-water infrastructure • Waste storage • Natural heritage
	<u>Development Plan Context</u>
5.2	<p>Section 6(4) of the Planning (Northern Ireland) Act 2011 states that in making any determinations under the Act, regard is to be had to the local development plan, and the determination must be made in accordance with the plan unless material considerations indicate otherwise.</p>
5.3	<p>Section 45(1) of the Act states that in determining planning applications, the Council must have regard to the local development plan, so far as material to the application, and to any other material considerations.</p>
5.4	<p>The Belfast Local Development Plan (LDP) when fully completed will replace the Belfast Urban Area Plan 2001 as the statutory Development Plan for the city. The Belfast LDP will comprise two parts. Part 1 is the Plan Strategy, which contains strategic and operational policies and was adopted on 02 May 2023. Part 2 is the Local Policies Plan, which will provide the zonings and proposals maps for Belfast and has not yet been published. The zonings and proposals maps in the Belfast Urban Area Plan 2001 remain part of the statutory local development plan until the Local Policies Plan is adopted.</p>
	<u>Operational Policies</u>
5.5	<p>The Plan Strategy contains a range of operational policies relevant to consideration of the application. These are listed at paragraph 3.1.</p>
	<u>Proposals Maps</u>
5.6	<p>Until such time as the Local Policies Plan is adopted, the Council must have regard to the land-use zonings, designations and proposals maps in the Belfast Urban Area Plan 2001 (BUAP), both versions of the draft Belfast Metropolitan Area Plan (v2004 and v2014) (dBMAP) and other relevant area plans. The weight to be afforded to these proposals maps is a matter for the decision maker. It is considered that significant weight should be given to the proposals map in dBMAP 2015 (v2014) given its advanced stage in the development process, save for retail policies that relate to Sprucefield which remain contentious.</p>

	<ul style="list-style-type: none"> • Belfast Urban Area Plan 2001: The site is located within the city centre. • Belfast Metropolitan Area Plan 2015 (2004): The site is within the city centre's Primary Retail Core and the City Centre Conservation Area. • Belfast Metropolitan Area Plan 2015 (v2014): The site is within the city centre's Primary Retail Core and the City Centre Conservation Area. <p><u>Principle of Development</u></p>
5.7	<p>The existing site is comprised of a restaurant, public house, 2 retail units and offices. The proposal involves assessment of the following:</p> <ul style="list-style-type: none"> • 10 Ann Street: Proposed as a bar which will connect to the existing bar located at 8-12 Crown Entry. • 12-14 Ann Street: Proposed Bar/Restaurant which will connect internally to no. 10 Ann Street. • 16-22 Ann Street: Involves the amalgamation of the existing two retail units into one with a proposed hotel lobby to the rear leading to the upper floor hotel rooms including a two storey extension. The hotel is to contain 41 bedrooms. <p><i>Policy Context:</i></p>
5.8	<p>Policy RET1 aims to ensure that proposals for main town centres uses such as those proposed are directed to the appropriate level of centre based on size, function and catchment, with Belfast City Centre, District centres and Local centres considered in that order of preference.</p>
5.9	<p>The proposed site is also located within the Primary Retail Area (Primary Retail Core under dBMAP). Policy RET5 states the Primary Retail Area will be the focus for Class A1 retail uses. The policy restricts non-retail development so that no more than 40% of the frontage of the shopping street to which it relates is non-retail use and no more than 3 adjacent retail units are in non-retail use. Proposals for cafes and restaurants are however excluded from the 40% non-retail threshold.</p>
5.10	<p>Policy TLC3: Overnight Visitor Accommodation states permission will be granted for new overnight visitor accommodation within the city centre boundary.</p> <p><i>Principle of Proposed Bar/Restaurant:</i></p>
5.11	<p>Paragraph 8.2.26 states that the opening of a bar/pub on the PRA shall be considered only in circumstances where a retail use exists on each side of the proposed premises, so as to not break up a continuous shopping frontage.</p>
5.12	<p>The proposed restaurant at Nos. 12-14 Ann Street is excluded from the 40% non-retail restriction contained within Policy RET5 and while the proposed bar at No. 10 Ann Street contains a separate shopfront and entrance it is amalgamated with the proposed restaurant internally and therefore will function as a single unit. It is therefore considered that the proposed bar is compliant with Policy RET5 as the neighbouring units are 2-6 Ann Street and 16-22 Ann Street which will both be in retail use.</p>
5.13	<p>The principle of a restaurant and bar at this location are considered acceptable in principle and are compliant with Policies RET1 and RET5.</p>

	<p><i>Retail Use:</i></p>
5.14	<p>The proposed retail use complies with policies RET1 and RET5 being a retail use within the Primary Retail Area. The amalgamation of the two existing units is considered acceptable.</p>
	<p><i>Proposed Hotel:</i></p>
5.15	<p>The proposed entrance to the hotel is located to the rear of the retail unit accessed through Wilson's Court. The proposed location is considered acceptable in principle being within the city centre boundary and is compliant with Policy TLC3.</p>
	<p><i>Investment and job creation:</i></p>
5.16	<p>The economic investment in the buildings, their refurbishment, regeneration of the site and associated job creation is welcomed. These are material considerations that support the granting of planning permission.</p>
	<p><u>Design & Placemaking</u></p>
5.17	<p>Policy DES1 (Principles of urban design) of the Plan Strategy promotes good placemaking, high quality design and the importance of proposals responding positively to local context. Policy SP5 (Positive Placemaking) states that development should maximise the core principles of good design and positive placemaking in the creation of successful and sustainable places.</p>
5.18	<p>The proposal involves alterations to the existing buildings at ground floor level such as reinstating windows along Crown Entry and new shopfronts along Ann Street, including the reinstatement of a Victoria Timber shopfront at 10 Ann Street.</p>
5.19	<p>No. 16 to 22, proposed as a hotel, includes a two storey roof extension set back from the building line and finished in Profiled Aluminium Cladding.</p>
	<p><i>Impact on City Centre Conservation Area:</i></p>
5.20	<p>In accordance with Section 104(11) of the Planning Act (Northern Ireland) 2011, the council has had special regard to the desirability of (a) preserving the character or appearance of that the conservation area in cases where an opportunity for enhancing its character or appearance does not arise; and (b) enhancing the character or appearance of the conservation area in cases where an opportunity to do so does arise.</p>
5.21	<p>The SPPS states that: '<i>in managing development within a designated Conservation Area the guiding principle is to afford special regard to the desirability of enhancing its character or appearance when an opportunity to do so exists, or preserve its character or appearance where an opportunity to enhance does not exist</i>'.</p>
5.22	<p>Policy BH2 contains four criteria in addition to criteria within Policy RD2 and specifically relation to alterations and extensions within conservation areas as below:</p> <ul style="list-style-type: none"> f) <i>Extensions shall be subservient to the existing building with regard to height, scale, massing, form and alignment;</i> g) <i>The proposal involves retention of and where possible reinstatement of traditional features;</i> h) <i>The proposal will not result in the detrimental loss of visual gaps between existing buildings and boundaries; and</i>

	<p>i) <i>The proposal makes use of traditional and where appropriate reclaimed, recycled/or sympathetic building materials and techniques which match or are in keeping with those found on the building and surrounding area.</i></p>
5.23	<p>Ann Street has a uniform shoulder height of 3 to 4 stories depending on floor to ceiling heights with the Dunnes Stores appearing as an anomaly ending the street at six stories. The proposed two storey extension is angled and successfully retains the existing shoulder height by being setback appropriately from the building line by 1.3m to 3.2m as shown below:</p> 
5.24	<p>The proposed setback allows the extension to be subservient to the existing building in regards to height, scale form and alignment.</p>
5.25	<p>The existing building is of poor architectural quality and not of a historic or traditional design, therefore there is no opportunity for the proposed extension to reinstate any traditional features. The design is modern with large glazed windows and an aluminium profiled cladding which is considered acceptable in the context of the existing building.</p>
5.26	<p>The proposal includes the reinstatement of traditional shopfronts at both 10 Ann Street and 12-14 Ann Street. 10 Ann Street will be a reinstated Victoria Timber shopfront while 12-14 Ann Street will introduce a glazed slip brick and Crittall windows. Furthermore, original windows will be re-introduced along Crown Entry. The reinstatement of these traditional features is welcomed.</p>
5.27	<p>The proposed extension is to the roof of the existing building and will therefore not impact visual gaps between buildings. Given the meaningful setback it is also not considered the proposal will negatively impact the key views into and out of the area. The proposal will only be visible from long range views and the retention of the shoulder height ensures there will not be a negative impact on the conservation area.</p>

	<i>Conservation Advice</i>
5.28	<p>Conservation Advice was sought and raised several concerns as considered below:</p> <p><i>‘The attic form proposed is alien in context of area and building – the additional floors would appear as a separate, aluminium box form unrelated to the rest of the design not following the fenestration below etc. – contrary to the principle of architectural unity that underpinned building form within the Conservation Area forming coherent, architecturally unified statements.’</i></p>
5.29	<p>Traditional attic options in the form of a mansard as requested within the Conservation Advice were explored during the PAD stage and were found to negatively impact on the Conservation Area given the options protruded the street line and failed to retain the existing shoulder height. While the proposal does not follow the fenestration below it is setback sufficiently to appear subservient to the existing building and of an acceptable form. Moreover, the high position of the roof extension, together with its angled and modern design, means that alignment with the windows below is less critical.</p>
5.30	<p>The conservation advice requested that the colour of render to the existing building should not appear visually strident/jarring and contribute to streetscape coherence. The proposed render is a dark colour which no objections are raised to given the mix of materials in the surrounding area and to achieve coherence with the materiality of the extension. The colour of render will be conditioned to be submitted prior to commencement of the development to ensure it is considered appropriate.</p>
5.31	<p>Conservation advice stated that detailing of the existing façade would assist in perceptually diminishing the perception of the extension. While changes to the existing window openings were presented at PAD stage which would aid with the proposal, the submitted Design and Access Statement states that the focus is to retain existing fabric and the existing openings. The advice does concede that as existing openings are proposed to be used it would be difficult to insist on existing fenestration alterations.</p>
5.32	<p>The conservation advice states that the proposed shopfronts are broadly acceptable. Minor amendments are requested such as locations of awnings and design of shutters but given the existing shopfronts which are not historic in nature it is considered the proposed shopfronts are a significant enhancement.</p>
5.33	<p>The proposal is considered to comply with Policies DES1, BH2 and Section 104(11) of the Planning Act (Northern Ireland) 2011. Overall, the proposal enhances the Conservation Area due to the reinstatement of historic shopfronts and the opening of windows to along Crown Entry which are important historic elements and will enhance the public’s experience of the area at ground level.</p>
	<i>Proposed Demolition</i>
5.34	<p>To facilitate the development the following demolition is proposed: Ground floor facades remodelling, removal of window detailing to upper floors, removal and replacement of windows and doors, creation of new door and window openings, removal of roof to rear return and internal wall and roof demolition to accommodate reconfiguration of buildings and associated development for proposed change of use.</p>
5.35	<p>An application for Conservation Area Consent has been submitted (LA04/2025/0557/DCA) and is assessed as part of this report.</p>

5.36	<p>Policy BH2 states there will be a presumption in favour for retaining listed buildings and non-listed buildings in conservation areas. Partial demolition is only permitted where:</p> <ul style="list-style-type: none"> j) It makes either a negative or no material contribution to the character and appearance of the area; and k) The design quality of the proposed building is considered to enhance the overall character of the conservation area paying due regard to viability of retention or restoration of the existing building.
5.37	<p>The elements of the building to be demolished are not historic in nature and make no material contribution to the Conservation Area. As established previously, the proposal overall enhances the Conservation Area.</p>
5.38	<p>Conservation advice raises no concerns regarding the demolition although did note that the chimney on 8-10 Crown Entry is not shown on the proposed plans. The chimney is not part of the application for consent to demolish and is therefore to be retained.</p>
5.39	<p>It is considered the proposed demolition is considered acceptable with due regard to Policy BH2, the SPPS and Section 104 (11) of the Planning Act.</p> <p><u>Impact on the heritage assets</u></p> <p><i>Impact on Listed Buildings:</i></p>
5.40	<p>In accordance with Section 91(2) of the Planning Act (Northern Ireland) 2011, the Council must have special regard to the desirability of preserving the Listed Building and its features of special architectural or historic interest.</p>
5.41	<p>Policy BH1 of the Belfast Plan Strategy contains five criteria to be met when considering the impact of new development on the setting of Listed Buildings.</p>
5.42	<p>There are a number of listed buildings within close proximity to the site, these are listed below:</p> <ul style="list-style-type: none"> • HB26/50/039 Masonic Building, 13-14 Arthur Square, Belfast Grade B+ • HB26/50/096 Mayfair Building, Arthur Square, Belfast Grade B1 • HB26/50/304 1- 5 Castle Lane & 23-29 Cornmarket, Belfast Grade B2
5.43	<p>The proposed extension is considered sympathetic to the surrounding listed buildings. The significant setback of the extension ensures that the existing shoulder height of Ann Street is maintained and therefore the setting and views of the surrounding listed buildings are maintained.</p>
5.44	<p>DfC HED was consulted and has no objections to the proposal. DfC HED is supportive of the conservation led approach in the scheme which provides a sustainable future for location buildings of historic interest in the City Centre.</p> <p><i>Impact on Archaeology:</i></p>
5.45	<p>DfC HED (Historic Monuments Section) was consulted and requested an Archaeological Impact Assessment which has been submitted. It is content subject to conditions for the agreement and implementation of a developer funded programme of archaeological works.</p>

5.46	<p>Having regard to the advice from DfC HED and the further assessment by officers, it is considered that the setting of the Listed Buildings in the vicinity of the site, would be safeguarded. The proposal accords with Policies BH1 and BH5, and relevant provisions of the SPPS.</p> <p><u>Impact on Amenity</u></p>
5.47	<p>The proposed bar and restaurant are acknowledged as Sensitive Uses within the Council's SPG that can lead to an increase in litter and cause amenity issues such as noise and odour.</p>
5.48	<p>The proposal, however, is within an appropriate location within the city centre and there are no residential uses within close proximity to the development. A Noise Impact Assessment has been submitted and mitigation measures will ensure no amenity impacts upon residents of the hotel. Environmental Health offers no objection.</p>
5.49	<p>There would be no unacceptable overlooking, loss of light or outlook resulting from the proposal.</p> <p><u>Access & transport</u></p>
5.50	<p>Policy SP7 (Connectivity) supports connectivity to and within the city by sustainable transport modes, such as public transport, walking and cycling. Policy TRAN1 (Active travel, walking & cycling) supports development proposals which take account of the needs and safety of walkers and cyclists, their convenience to walking, cycle and public transport access and secure cycle parking facilities. Policy TRAN2 (Creating and accessible environment) promotes suitable access to buildings and their surroundings whilst taking account of the specific needs of people with disabilities or impaired mobility. Development which will generate significant travel uses require a Travel Plan under Policy TRAN4 (Travel plan), whilst Policy TRAN8 (Car parking & servicing arrangements) sets out the criteria under which reduced levels of car-parking will be assessed.</p>
5.51	<p>The proposal does not include the provision of any car parking. The proposal is in a highly sustainable and accessible location within the city centre, with good access to car parks and public transport. Ann Street is pedestrianised and therefore there is no option to provide car parking.</p>
5.52	<p>DfI Roads was consulted on the proposal and requested in curtilage cycle parking to be provided. Amendments have been received to include this and delegated authority is requested to deal with the outstanding consultation response provide issues raised are not substantive. Subject to the final response from DfI Roads, having regard to the sustainable of the site location and proximity to parking facilities, access to public transport the proposal is considered to satisfy the relevant policies SP7, TRAN1, TRAN2 and TRAN8.</p> <p><u>Climate change</u></p>
5.53	<p>Policy SP6 (Environmental resilience) of the Plan Strategy reinforces the RDS policy on climate change which also aligns with the Belfast Agenda, by seeking to reduce greenhouse gas emissions and adapt to a changing climate to build environmental resilience. Policy ENV1 (Environmental quality) allows for development that will maintain and, where possible, enhance environmental quality. Any proposal must protect communities from materially harmful development and must not result in an unacceptable adverse impact on the environment. Policy ENV2 (Mitigating</p>

	<p>environmental change) states that planning permission will be granted for development that incorporates measures to mitigate environmental change and reduce greenhouse gases by promoting sustainable patterns of development. There is a presumption in favour of retaining existing buildings. Policy ENV3 (Adapting to environmental change) states that planning permission will be granted for development that incorporates measures to adapt to environmental change. Policy ENV5 (Sustainable Drainage Systems) SuDS states that all built development should include, where applicable, SuDS measures to manage surface water effectively on site to reduce surface water runoff.</p>
5.54	<p>The proposal complies by policies ENV2 and ENV3 by reusing the existing buildings which avoids demolition and minimises waste. The proposal maximises opportunities to incorporate sustainable design features with a proposed green roof which is also a form of SuDS and therefore complies with policy ENV5.</p>
5.55	<p>Subject to conditions to ensure implementation of these measures, there would be no conflict with policies SP3, SP6, ENV1, ENV2, ENV3 and ENV5 of the Plan strategy, and the strategic aims of the RDS the SPPS, and the Belfast Agenda.</p> <p><u>Environmental protection</u></p>
5.56	<p>Policy SP6 (Environmental resilience) of the Plan Strategy reinforces the RDS policy on climate change which also aligns with the Belfast Agenda to build environmental resilience. Policy ENV1 (Environmental quality) requires new development to protect communities from materially harmful development and must not result in an unacceptable adverse impact on the environment.</p>
5.57	<p>Environmental Health have been consulted in regard to air quality, odour, noise and contaminated land. The response from Environmental Health indicated no objection to the proposal subject to relevant condition. The proposal is considered compliant with Policy ENV1.</p> <p><i>Contaminated land:</i></p>
5.58	<p>The site is located on past land use types that have the potential to contaminate land and pose a risk to human health. Groundworks are not proposed and therefore EH have no objections with conditions.</p> <p><i>Noise:</i></p>
5.59	<p>A Noise Impact Assessment has been submitted which proposes noise mitigation measures for the protection of the residents of the hotel. EH had no objections with conditions.</p> <p><i>Odour:</i></p>
5.60	<p>The proposal includes a restaurant. The kitchen extraction outlet is located to the rear façade of the building and is indicated as terminating 1m above the ridge line. EH have no objections with a condition proposed.</p> <p><i>Air Quality:</i></p>
5.61	<p>EH advise that if centralised combustion plants are proposed then further information will be required, a condition is proposed in this instance.</p>

	<u>Flood risk</u>
5.62	Policy ENV4 (Flood risk) of the Plan Strategy states that planning applications in flood risk areas must be accompanied by an assessment of the flood risk in the form of a Flood Risk Assessment (FRA). Flood Maps (NI) indicate the site lies within the 1 in 200-year climate change coastal flood plain.
5.63	Under paragraph 6.107 of the SPPS built development is not permitted within the flood plains of rivers or the sea unless one of the circumstances apply. The development is considered minor development given it will not result in any increase in the footprint of the buildings. A Flood Risk Assessment has been submitted and DFI Rivers accepts its logic and has no reason to disagree with its conclusions.
5.64	In addition, a Drainage Assessment has been submitted and DFI Rivers have requested further information including surface water discharge consent and revised drainage calculations. A revised Drainage Assessment has been submitted and DFI Rivers have been reconsulted. Delegated Authority is requested to deal with the outstanding DFI Rivers response providing no substantive issues are raised.
5.65	Subject to DFI Rivers final response, the proposal is considered compliant with Policies ENV4 and ENV5.
	<u>Waste-water infrastructure</u>
5.66	Policy SP1A (Managing growth and supporting infrastructure delivery) of the Plan Strategy require that necessary infrastructure is in place to support new development.
5.67	NI Water has confirmed there is available capacity at the receiving Wastewater Treatment Works, however, an assessment has indicated network capacity issues. It advises that existing public waste-water infrastructure cannot currently support the proposal without significant risk of environmental harm, potential pollution, flood risk and harm to local amenity. However, no clear evidence has been provided to demonstrate specific harm resulting from the development. Moreover, NI Water has a duty to connect committed development across the city to its waste-water infrastructure. Such development, which includes significant levels of residential and commercial floor space across the city, will not all come forward at once and some may not come forward at all. For these reasons, it would be unreasonable for the Council to refuse planning permission on these grounds and the proposal is acceptable having regard to Policy SP1A of the Plan Strategy.
5.68	NI Water have confirmed under their latest consultation that a Waste Water Impact Assessment has been submitted and that process is ongoing. Having regard to the NI Water advice, it is considered necessary to impose a condition requiring the submission of details of foul and surface water drainage. In this regard, the proposal is considered compliant with Policy NH1 of the of the Belfast Local Development Plan, Plan Strategy 2035 and paragraphs 6.176 and 6.177 of the Strategic Planning Policy Statement; and taking account of all relevant material considerations.
	<u>Waste Storage</u>
5.69	A Waste Storage Strategy has been submitted with a bin storage area to serve the restaurant/bar and hotel and a separate area to serve the retail unit. The Waste Storage Strategy includes calculations and is considered to comply with the Council's Waste Infrastructure SPG.

<p>5.70</p> <p>5.71</p> <p>5.72</p> <p>5.73</p>	<p><u>Natural heritage</u></p> <p>Policy NH1 states that the Council will adopt a precautionary approach when considering the impact of proposed development on local, national or international natural heritage resources, including designated sites, protected species and the other important interests of biodiversity and geodiversity.</p> <p>Due to the proposed location no scenarios contained within the NI Biodiversity Checklist in relation to either designated sites/priority habitats or protected/priority species are applicable. No further ecological assessments and surveys are therefore required.</p> <p>As set out previously, a condition is recommended to secure appropriate details of waste-water drainage in the interests of the environmental protection of Belfast Lough.</p> <p>The proposal is considered in compliance with Policy NH1.</p>
<p>6.0</p> <p>6.1</p> <p>6.2</p>	<p>Recommendation</p> <p>Having regard to the Local Development Plan and all material considerations, it is recommended that planning permission is granted subject to conditions.</p> <p>Delegated authority is sought for the Director of Planning and Building Control to finalise the wording of the conditions and to deal with the outstanding consultation response from SES, DFI Roads and DFI Rivers and any other issues, provided that they are not substantive.</p>
<p>7.0</p>	<p>DRAFT CONDITIONS</p> <p>LA04/2025/0556/F:</p> <ol style="list-style-type: none"> 1. The development hereby permitted must be begun within five years from the date of this permission. Reason: As required by Section 61 of the Planning Act (Northern Ireland) 2011 2. No external facing or roofing materials shall be constructed or applied unless in accordance with a written specification and a physical sample panel, details of which shall have first been submitted to and approved in writing by the Council. The sample panel shall be provided on site and made available for inspection by the Council for the duration of the construction works. The sample panel shall show the make, type, size, colour, profile and texture of the external materials. Reason: In the interests of the character and appearance of the Conservation Area. 3. No development shall commence on site until details of all new external joinery (including doors, windows and shopfronts) have been submitted to and approved in writing by the Council. The development shall not be carried out unless in accordance with the approved details. Reason: In the interests of the character and appearance of the Conservation Area.

4. If during the carrying out of the development, new contamination is encountered that has not previously been identified, all related works shall cease immediately, and the Council shall be notified immediately in writing. No further development shall proceed until this new contamination has been fully investigated in accordance with current industry recognised best practice. In the event of unacceptable human health risks being identified, a Remediation Strategy and subsequent Verification Report shall be submitted to and agreed in writing by the Council, prior to the development being occupied or operated. The Verification Report shall be completed by competent persons in accordance with best practice and must demonstrate that the remediation measures have been implemented and that the site is now fit for end-use.

Reason: To ensure that any contamination within the site is appropriately dealt with, in the interests of human health.

5. Prior to the installation of any centralised combustion sources (boilers, CHP, biomass or generators), where there is a risk of impact at relevant receptor locations, an Air Quality Impact Assessment shall be submitted to and approved in writing by the Council. The submitted assessment shall include details of the combustion plant to be installed, emission rates and flue termination heights of the proposed combustion systems and must demonstrate that there will be no exceedances of the Air Quality Strategy objectives at relevant human receptor locations associated with the operation of the proposed combustion plant and with the overall development. The development shall not be carried out unless in accordance with the approved details.

Reason: Protection of Local Air Quality.

6. During operation of the development:

- The music noise level from amplified speakers within the two external terraces shall not exceed 63 dB LAeq, 5 mins when measured at a distance of 1 metre from each speaker.
- All plant and equipment associated with the development hereby permitted, shall be selected, designed and installed so as to achieve a combined rating level (Lar,Tr) no greater than the representative night time and day-time background sound level when measured or determined at the façade of the nearest noise sensitive premises in accordance with BS4142:2014+A1:2014.

Reason: Protection of surrounding amenity.

7. No installation, fit-out, or operation of the restaurant unit shall be permitted until a scheme of kitchen extraction and odour abatement has been submitted to and approved in writing by the Council. The scheme shall include:

A risk assessment to determine a suitable fit for purpose system;

Full specification details of the proposed kitchen extraction and odour abatement system;

An elevation drawing depicting the location of the proposed kitchen extract ducting and termination point of extract flue, including height, along with the identification and location of any external mechanical components e.g. fan, motor (including information on noise production and abatement).

	<p>The approved kitchen extraction and odour abatement scheme shall be installed in accordance with the approved details prior to commencement of use of the hereby permitted restaurant and shall be operated at all times thereafter.</p> <p>The approved kitchen extraction and odour abatement scheme as installed shall be retained and maintained thereafter.</p> <p>Reason: Protection of surrounding amenity.</p> <p>8. Notwithstanding the submitted details, no development shall commence on site (other than site clearance, site preparation, demolition and the formation of foundations and trenches) unless details of foul and surface water drainage, including a programme for implementation of these works, have been submitted to and approved in writing by the Council. The development shall not be carried out unless in accordance with the approved details, which shall be retained as such thereafter.</p> <p>Reason: To ensure appropriate foul and surface water drainage of the site and safeguarding of Belfast Lough. Approval is required upfront because the design of the drainage is an integral part of the development and its acceptability.</p> <p>9. No site works of any nature or development shall take place until a programme of archaeological work (POW) has been prepared by a qualified archaeologist, submitted by the applicant and approved in writing by Belfast City Council in consultation with Historic Environment Division, Department for Communities. The POW shall provide for:</p> <ul style="list-style-type: none"> • The identification and evaluation of archaeological remains within the site; • Mitigation of the impacts of development through licensed excavation recording or by preservation of remains in-situ; • Post-excavation analysis sufficient to prepare an archaeological report, to publication standard if necessary; and • Preparation of the digital, documentary and material archive for deposition. <p>No site works of any nature or development shall take place other than in accordance with the programme of archaeological work.</p> <p>Reason: To ensure that archaeological remains within the application site are properly identified, protected or appropriately recorded.</p> <p>10. A programme of post-excavation analysis, preparation of an archaeological report, dissemination of results and preparation of the excavation archive shall be undertaken in accordance with the programme of archaeological work approved under condition 9.</p> <p>These measures shall be implemented and a final archaeological report shall be submitted to Belfast City Council within 12 months of the completion of archaeological site works, or as otherwise agreed in writing with Belfast City Council.</p>
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Reason: To ensure that the results of archaeological works are appropriately analysed and disseminated and the excavation archive is prepared to a suitable standard for deposition.

11. The development hereby permitted shall not be occupied until the waste storage areas have been provided in accordance with the approved plans and shall be permanently retained as such at all times.

Reason: To ensure that appropriate provision is made for storage and disposal of waste.

LA04/2025/0667/DCA:

1. The works hereby permitted shall be begun not later than the expiration of 5 years beginning with the date on which this consent is granted.

Reason: As required by Section 105 of the Planning Act (Northern Ireland) 2011.

2. This consent only relates to the walls / structures highlighted in red on the approved plans and to no other part of the building/s or structure/s within the site.

Reason: For the avoidance of doubt as to the extent of this consent, to preserve or enhance the character or appearance of the Conservation Area.

DRAFT INFORMATIVES:

1. Please make sure that you carry out the development in accordance with the approved plans and any planning conditions listed above. Failure to do so will mean that the proposal is unauthorised and liable for investigation by the Council's Planning Enforcement team. If you would like advice about how to comply with the planning permission, you are advised to contact the Planning Service at Belfast City Council at planning@belfastcity.gov.uk.
2. This planning permission includes condition(s) which require further details to be submitted to and approved by the Council. Please read the condition(s) carefully so that you know when this information needs to be provided and approved. It could take a minimum of 8 weeks for the Council to approve the details, assuming that they are satisfactory, and sometimes longer depending on the complexity of the condition. You should allow for this when planning the timeline of your project.
3. The grant of planning permission does not dispense with the need to obtain licenses, authorisations may have been identified by consultees in their response to the application and can be accessed on the Northern Ireland Planning Portal website. The responses from consultees may also include other general advice for the benefit of the applicant or developer. consents or permissions under other legislation or protocols.

	<p>4. The applicant or developer's attention is drawn to The Conservation (Natural Habitats, etc) Regulations (Northern Ireland) 1995 (as amended), under which it is an offence to:</p> <ul style="list-style-type: none"> a) Deliberately capture, injure or kill a wild animal including a European protected species, which includes all species of bat; b) Deliberately disturb such an animal while it is occupying a structure or place which it uses for shelter or protection; c) Deliberately disturb such an animal in such a way as to be likely to: <ul style="list-style-type: none"> (i) affect the local distribution or abundance of the species to which it belongs; (ii) Impair its ability to survive, breed or reproduce, or rear or care for its young; or (iii) Impair its ability to hibernate or migrate; d) Deliberately obstruct access to a breeding site or resting place of such an animal; or e) To damage or destroy a breeding site or resting place of such an animal. <p>If there is evidence of bat activity / roosts on the site, all works should cease immediately and further advice sought from the Wildlife Inspector's Team, Northern Ireland Environment Agency, Klondyke Building, Cromac Avenue, Gasworks Business Park, Belfast BT72JA. Tel. 028 9056 9605.</p>
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